



GENERAL NOTES:

- THE EXISTING CONDITIONS PLAN WAS COMPILED FROM AVAILABLE RECORD PLANS OBTAINED FROM THE TOWN OF ARLINGTON ENGINEERING DEPARTMENT AND SURVEY BY ALLEN & MAJOR ASSOCIATES, INC. ON OR BETWEEN JUNE 22, 2009 AND JUNE 26, 2009.
- WETLAND FLAGS WERE SET BY ALLEN & MAJOR ASSOCIATES, INC. WETLAND SCIENTIST ON JUNE 25, 2009.
- ZONING DISTRICT IS B2A.
- OVERALL LOT SIZE: 3.87± ACRES
- MAXIMUM CROSS SLOPE ON WALKS IN 66:1 (1.5%) AND MAXIMUM LONGITUDINAL SLOPE IS 22.5:1 (4.5%) EXCEPT WHERE OTHERWISE INDICATED ON THE DRAWINGS.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS MADE ON THE GROUND. THIS INFORMATION NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES AND THE EXACT ELEVATION OF THE TOP OF THE UTILITIES. REMEDIAL INTERFERENCE WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL MAIN BUILDING ENTRANCES AND SIDEWALK SHALL BE HANDICAP ACCESSIBLE PER ADA REGULATIONS.
- ALL SITE LIGHTING SHALL BE POLE MOUNTED AS SHOWN ON THE PLAN ENTITLED "LIGHTING PLAN."
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MA DEP, AND THE REQUIREMENTS OF THE ARLINGTON CONSERVATION COMMISSION.

GENERAL NOTES CONTINUED:

- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE. EROSION CONTROL MULCH IS RECOMMENDED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF NECESSARY BY ON SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF ARLINGTON SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF ARLINGTON PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF ARLINGTON SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF ARLINGTON PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROAD, DRAIN LATERALS AND UTILITY ENTRANCES TO INCORPORATE SANITARY SEWER, DOMESTIC AND FIRE PROTECTION WATER, SERVICE, ELECTRIC, TELEPHONE, AND PROPANE GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED, WITHOUT DELAY, BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS LEFT OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGER TO BE REMOVED, SEE GEOTECHNICAL REPORT. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO THE DEPTH OF 12" BELOW THE SURFACE GRADE AND PUNCTURE OR BREAK THE BOTTOM SLAB OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
- RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
WATER - C-L.D.I.
- REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES AND UTILITY ABANDONMENT.
- BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF ARLINGTON THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 8 LINEAR FEET CENTERED ON THE CROSSING.

EROSION AND SEDIMENTATION CONTROL NOTES:

- EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.C. (BEST MANAGEMENT PRACTICES) PEE THE E.P.A. 2008 "CONSTRUCTION GENERAL PERMIT MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS". THE PROJECT ACTIVITIES SHALL NOT EXCEED THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE COMMENCEMENT ACTIVITY. (UNLESS TOWN HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT POSITION, THE SITE SHALL BE TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID DRYING. THE STRAW, MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. AFTER THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER EACH INFILTRATION, RUNOFF, AND MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- ADJACENT ROADS SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION. THE USE OF STRAW BALES BARRIER AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITHIN ALL AREAS 85-90% VIGOROUS PERENNIAL GROWTH.
- EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- ALL STRAW BALE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDING HAVE BECOME 85-90% ESTABLISHED. THE TOWN OF ARLINGTON CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE CONDUCTED DURING THE PERIOD OF EROSION CONTROL ACTIVITIES. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED IN THE CONTRACTOR'S FIELD OFFICE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL ARRANGE AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

GRADING/DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, DUMPSTER PADS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLAN.
- TEMPORARY STRAW BALES PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LAID RUNOFF FROM ENTERING THE DRAINAGE SYSTEM UN-FILTERED.
- 6 FOOT DIAMETER DRAIN MANHOLES AND CATCH BASINS MAY BE NECESSARY DURING STORM DRAINAGE INSTALLATION.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

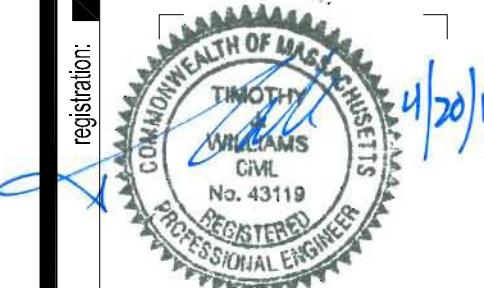
- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

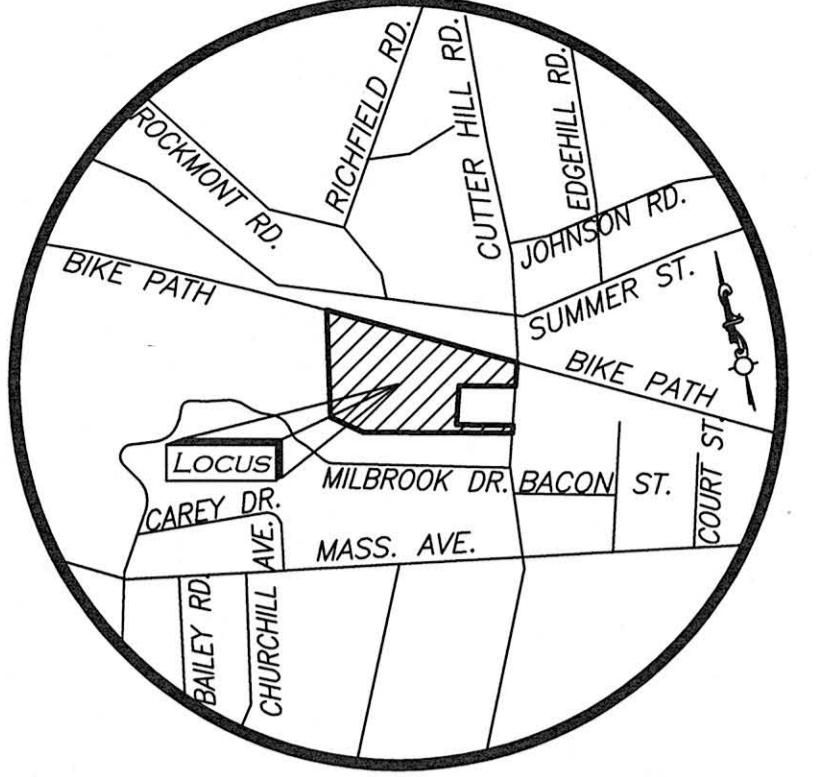
SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

ABBREVIATIONS & NOTES

drawing name: 



UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRIZE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CUS REFERENCES

-TOWN OF ARLINGTON ASSESSORS MAP 52
-PLAN 453 OF 1968
-BOOK 52700 PAGE 523

AN REFERENCES

- PLAN 281 OF 1967
- PLAN 1082 OF 1980
- PLAN 470 (A OF 8) OF 1984

OTES

1. NORTH ARROW TAKEN FROM PLAN 453 OF 1968.
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS TOWN OF ARLINGTON BASE.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. THE RESOURCE OF BANK (FLAGS A-1 THRU A-16) WAS DELINEATED ON JUNE 25, 2009 BY ALLEN & MAJOR ASSOCIATES, INC.
6. THE 100 YEAR FLOOD PLAIN ELEVATIONS SHOWN HEREON ARE TAKEN FROM THE PRELIMINARY FEMA FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NUMBER 250177 0416 E RELEASED SEPTEMBER 28, 2007.
7. LOCATION TAKEN FROM PLAN ENTITLED "PLAN OF LAND IN ARLINGTON, MA" PREPARED BY LEON B. TURNER JR., DATED DECEMBER 21, 1982. RECORDED AS PLAN# 822 OF 1983 AT THE MIDDLESEX (SOUTH) COUNTY REGISTRY OF DEEDS.

LEGEND

RILL HOLE (DH)	◎
STONE BOUND (SB)	□
RAIN MANHOLE (DMH)	◎
SEWER MANHOLE (SMH)	◎
SESC. MANHOLE (MH)	◎
WATER MANHOLE (WMH)	◎
CATCH BASIN (CB)	□
ROUND CATCH BASIN (RCB)	□
INVERT (INV)	○
UTILITY POLE	□
UTILITY POLE W/RISER	□
UTILITY POLE W/LIGHT	□
RE HYDRANT	○
RE STANDPIPE	○
WATER GATE	○
AS GATE	○
OLLARD	+
INVERT (INV)	○
REA DRAIN	○
GHT	○
REE	○
IGN	—○
TRANSFORMER	□
ONITOR WELL	○
RE ALARM BOX	□
LEANOUT	○
ANDICAP RAMP	□
ANK FLAG	▶A31
AND HOLE	□H.H.
ANDICAPPED PARKING SPACE	○
RRIGATION CONTROL VALVE	○
PARKING SPACE COUNT	○
' CONTOUR	— — — 47
' CONTOUR	— — — 50
ONCRETE	— — —
ANDSCAPED AREA (LSA)	— — —
IP-RAP	— — —
UILDING	— — —
OP OF BANK	— — —
ASEMENT LINE	— — —
ROPERTY LINE	— — —
BUTTERS LINE	— — —
ONCRETE RETAINING WALL	— — —
STONE RETAINING WALL	— — —
REE LINE	— — —
DGE OF PAVEMENT	— — —
URB	— — —
LOOD LINE	— — —
5' LOCAL NO DISTURB	— — —
UFFER	— — —
00' RIVERFRONT AREA/	— — —
00' JURISDICTIONAL BUFFER	— — —
00' RIVERFRONT AREA	— — —
LOOD LINE - FEMA 2010	— — —
HAIN LINK FENCE	— — — x —
UARDRAIL	— — —
VERHEAD WIRES	— — — OHW
EWER LINE	— — — S
RAIN LINE	— — — D
LECTRIC LINE	— — — E
OTTOM CENTER	— — — (BC)
EINFORCED CONCRETE PIPE	— — — RCP
OLYVINYL CHLORIDE PIPE	— — — PVC
OP OF WATER	— — — TW
ONCRETE	— — — CONC
ANITE	— — — GRAN
OUND	— — — FND
OW OR FORMERLY	— — — N/F
OOK	— — — BK.
AGE	— — — PG.
LAN BOOK	— — — PB.
LAN	— — — PL.
OOTPRINT AREA	— — — FPA
ERTIFICATE OF TITLE	— — — COT
AND COURT	— — — L.C.
AND COURT CASE	— — — L.C.C.
ITUMINOUS	— — — BIT.
AST IRON PIPE	— — — CI
RRUGATED METAL PIPE	— — — CMF
STONE ROUND W/DRILL HOLE	— — — SB/P
TRIFIED CLAY PIPE	— — — VC
NISHED FLOOR ELEVATION	— — — FFE

E HEREBY CERTIFY THAT THIS PLAN IS THE
RESULT OF AN ACTUAL ON THE GROUND
SURVEY PERFORMED ON OR BETWEEN JUNE
2, 2009 AND JUNE 26, 2009.

PROFESSIONAL LAND SURVEYOR FOR
ELLEN & MAJOR ASSOCIATES, INC.

GRAPHIC SCALE

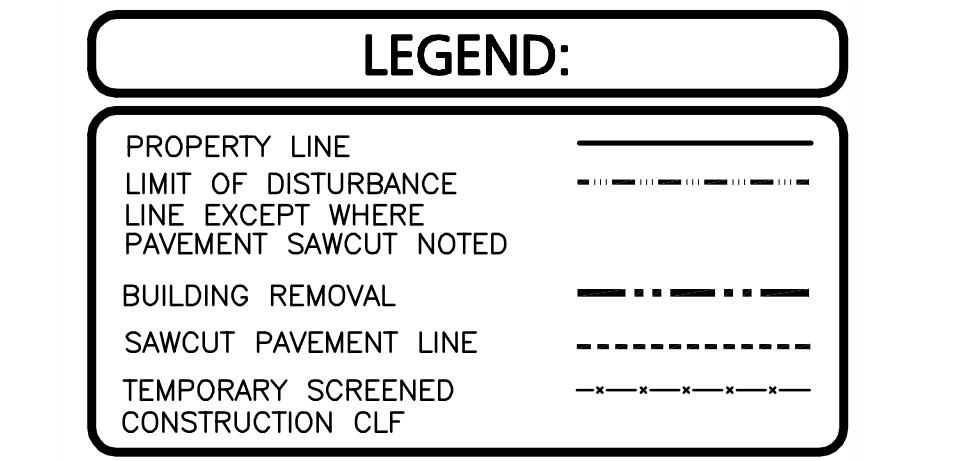
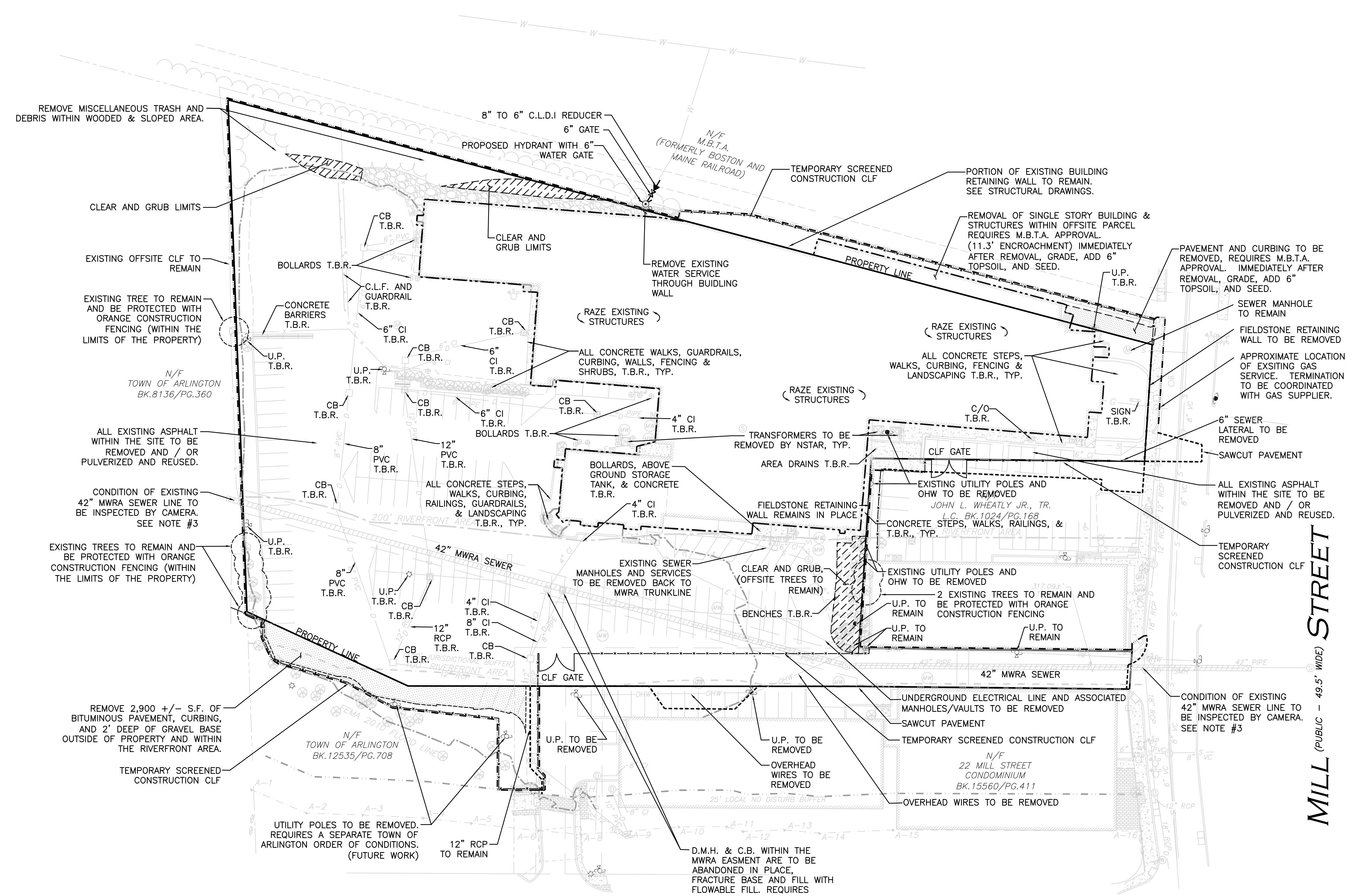
0 20 40 80

(IN FEET)

1 inch = 40 ft.

**Existing
Conditions
Plan**

Ex-1



NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. GRAVING / DEMOLITION OUTSIDE OF THE PROJECT BOUNDARIES REQUIRES A TEMPORARY CONSTRUCTION/GRAVING EASEMENT FROM THE LANDOWNER (BY OTHERS).
3. EXISTING 42" MWRA SEWER LINE TO BE INSPECTED BY CAMERA BOTH PRIOR TO CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETED TO VERIFY CONDITION. CONTRACTOR TO PROVIDE EXCAVATION LEADS FOR SEWER LINE ON THE PROPERTY AND PROVIDE VIDEOS TO CIVIL ENGINEER & OWNER.
4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S USE IS TO PROVIDE INFORMATION FOR ANY ALTERATION, MODIFICATION OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
5. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR DEMOLITION WHICH IS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
• MINIMUM LOT FRONTAGE
• MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

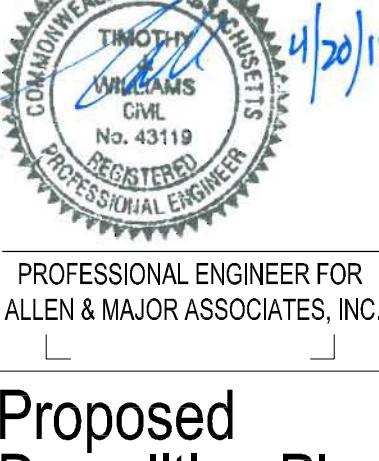
SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Proposed
Demolition Plan

drawing name: C-1

register date: 04-20-11

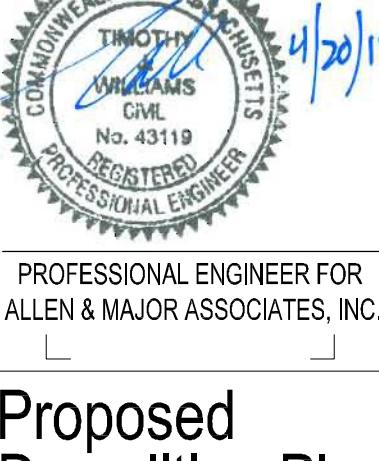
signature: 

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Proposed
Demolition Plan

drawing name: C-1

register date: 04-20-11

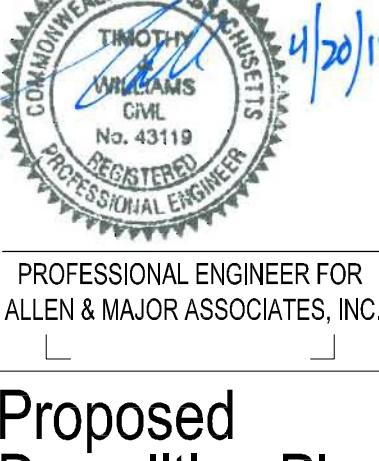
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ALLEN & MAJOR ASSOCIATES, INC.

Proposed
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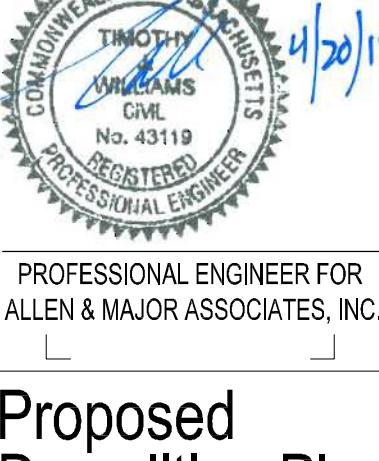
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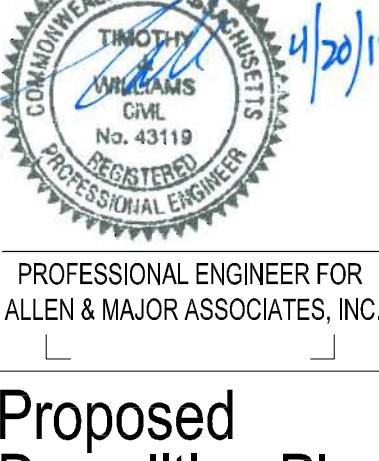
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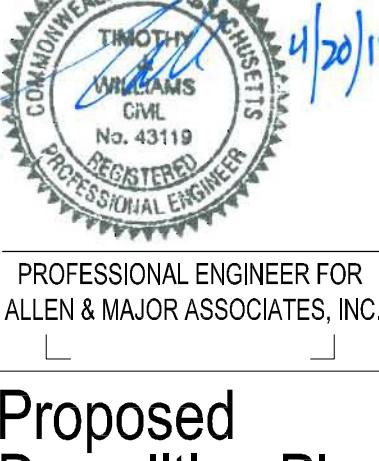
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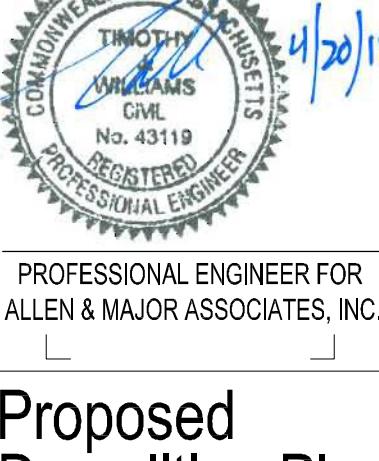
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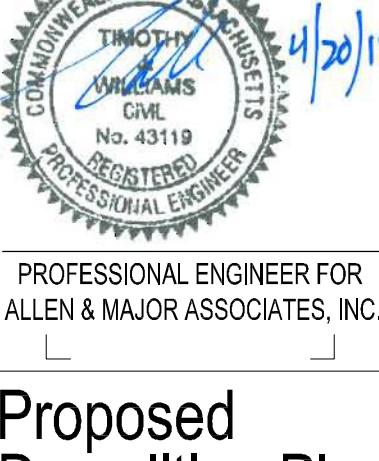
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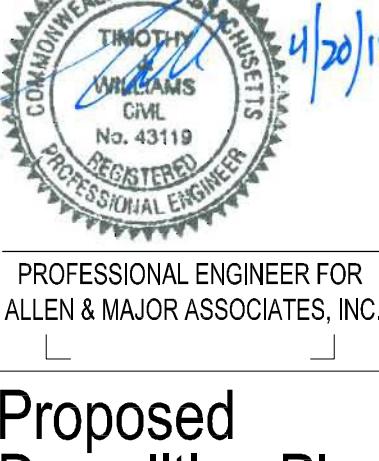
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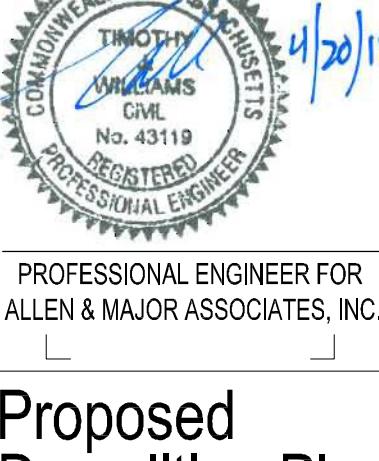
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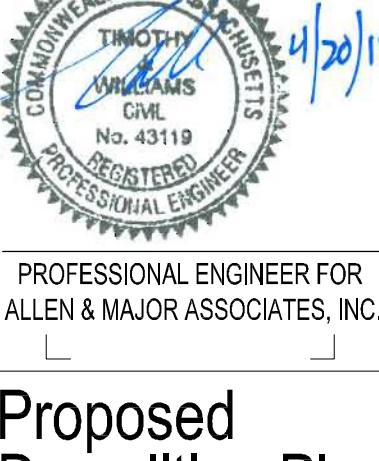
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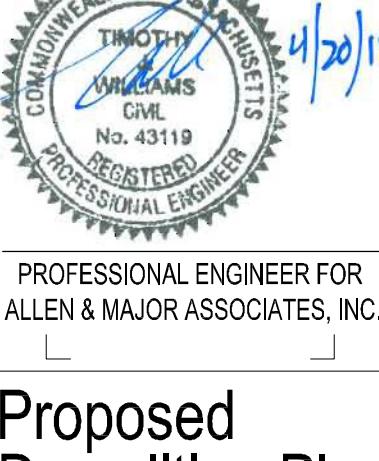
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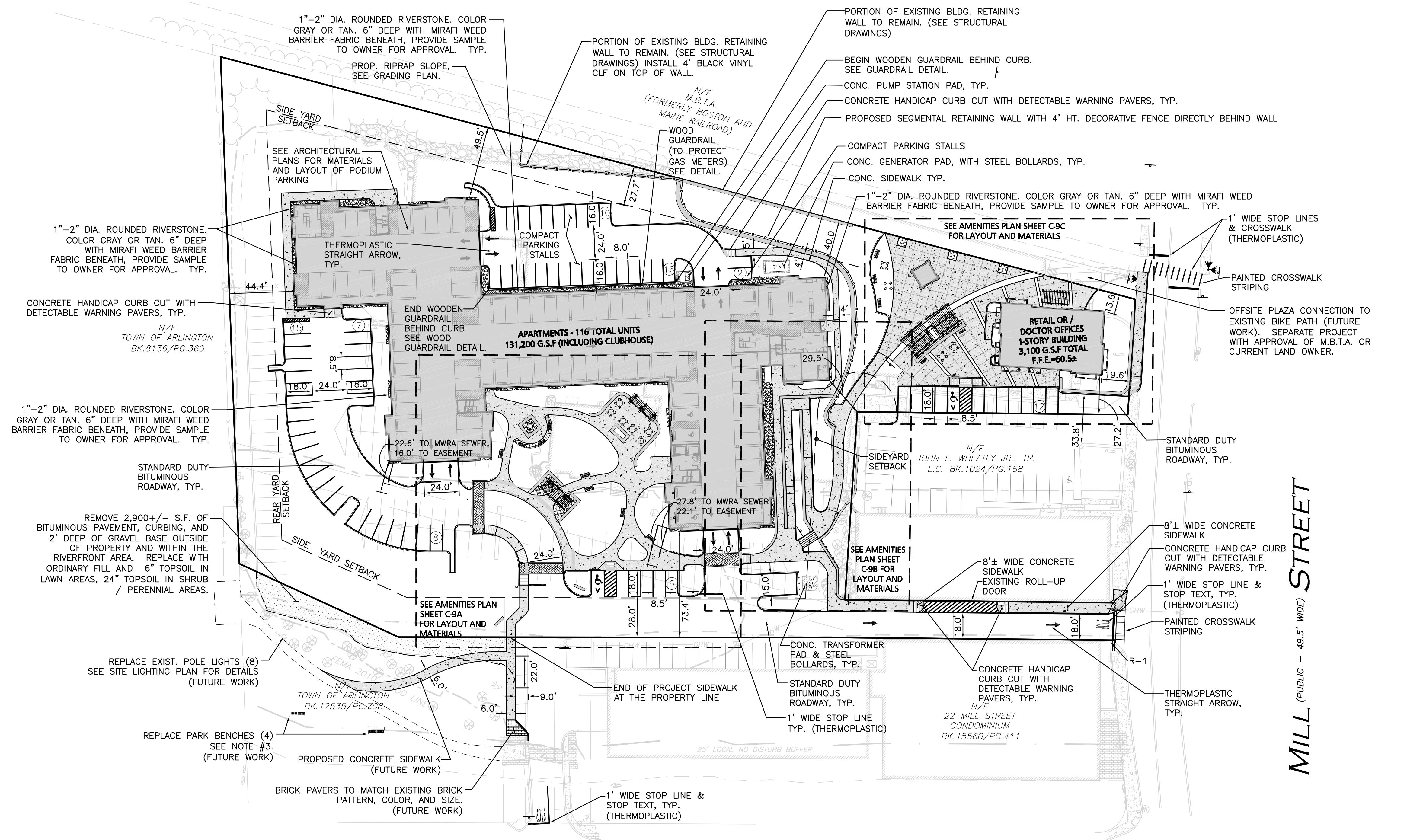
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signature: 

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.



MILL STREET (PUBLIC - 49.5' WIDE)

MILLBROOK DRIVE (PUBLIC - 40' WIDE)

LEGEND:	
EXISTING PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING OVERHANG	
BUILDING ARCHITECTURE	
CURBING	
RETAINING WALL	
PARKING STRIPING	
ROADWAY STRIPING	
TRAFFIC ARROWS	
HEAVY DUTY CONCRETE	
HEAVY DUTY PAVEMENT	
CONCRETE SIDEWALK	
PAVER SIDEWALK	
ROUNDED RIVERSTONE	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SNOW STORAGE	
SETBACK LINE	
BASELINE	
BASELINE DATA LABEL	10
BASELINE STATIONING	10:00
PARKING COUNT	10
CHAIN LINK FENCE	
DECORATIVE FENCE	
TRANSFORMER	
SOLID YELLOW CENTER LINE	SYCL
STOP LINE	SL
PRECAST CONCRETE CURB	PCC
VERTICAL GRANITE CURB	VGC
CAPE COD BERM	CCB

NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSEN OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
3. BENCHES AT EXISTING OFFSITE PARK TO THE SOUTH OF THE SITE TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS. 25" X 32" X 72" POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SUPPLIED MANUFACTURED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A)			
USE: APARTMENT HOUSE			
ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
LOT AREA (S.F.)	168,462 S.F. (3.87 ACRES)	168,462 S.F. (3.87 ACRES)	20,000 S.F.
FRONTAGE (FEET)	79.81' (MILL STREET)	79.81' (MILL STREET)	100'
FLOOR AREA RATIO	0.39	0.80	0.80 (MAXIMUM)
LOT AREA PER DWELLING UNIT (S.F.)	N.A.	1,452 S.F.	1,450 S.F. (MINIMUM)
FRONT YARD SETBACK (FEET)	31.3'	207.2'	15'
SIDE YARD SETBACK (FEET)	11.3' (OVER PL)	29.5'	10+(L/10)=27.2' (SEE CALC. BELOW)
REAR YARD SETBACK (FEET)	125.7'	44.4'	30'
BUILDING HEIGHT (STORIES)	1 & 2 STORIES'	4 STORIES RESIDENTIAL 1 STORY PODIUM PARKING	3 STORIES (MAXIMUM)
BUILDING HEIGHT (FEET)	N.A.	54.6' (SEE CALC. BELOW)	35' (MAXIMUM)
OPEN SPACE-LANDSCAPE (% G.F.A.)	11.1%	63.4%	10% (MINIMUM)
OPEN SPACE-USABLE (% G.F.A.)	0%	28.0%	25% (MINIMUM)
PARKING AREA LANDSCAPE	0%	11.6%	8%

LENGTH OF BUILDING AT STREET FRONTAGE (L)= 171.8'
HIGHEST POINT OF THE ROOF (H)= 107.6'
AVERAGE GRADE OF THE CURB LINE ALONG MILL STREET FRONTAGE=53.0'
BUILDING HEIGHT = 107.6' - 53.0' = 54.6'
SIDE YARD SETBACK = 10+(L/10) = 10 + (171.8/10') = 27.2'

LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A)			
USE: RETAIL OR MEDICAL OFFICE			
ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
LOT AREA (S.F.)	168,462 S.F. (3.87 ACRES)	168,462 S.F. (3.87 ACRES)	0 S.F.
FRONTAGE (FEET)	79.81' (MILL STREET)	79.81' (MILL STREET)	50'
FRONT YARD SETBACK (FEET)	31.3'	19.6'	0 S.F.
SIDE YARD SETBACK (FEET)	11.3' (OVER PL)	13.6'	0 S.F.
REAR YARD SETBACK (FEET)	125.7'	528.8'	10+(L/10) 10+(50/10)=15.4'
BUILDING HEIGHT (STORIES)	1 & 2 STORIES	1 STORY	3 STORIES
BUILDING HEIGHT (FEET)	N.A.	<35'	35'
OPEN SPACE-LANDSCAPE (% G.F.A.)	11.1%	63.4%	10%
OPEN SPACE-USABLE (% G.F.A.)	0%	28.0%	0%

OFF-STREET PARKING SUMMARY			
USE: APARTMENT HOUSE (PER ARTICLE 8, SECTION 8.01, PAGE 87)			
1.00 SPACE	PER STUDIO	x18 STUDIO	= 18
1.15 SPACE	PER ONE BEDROOM UNIT	x35 ONE BDRM	= 40
1.50 SPACE	PER TWO BEDROOM UNIT	x63 TWO BDRM	= 95
2.00 SPACE	PER THREE+ BEDROOM UNIT	x(THREE+ BDRM)	= 0
USE: PROPOSED RETAIL (PER ARTICLE 8, SECTION 8.01, PAGE 87)			
1.00 SPACE	PER 300 S.F. OF FLOOR SPACE (x3,100 S.F.)	= 11	(OR)
PROPOSED MEDICAL OFFICES (PER ARTICLE 8, SECTION 8.01, PAGE 88)			
4.00 SPACES	PER DOCTOR (3 DOCTORS x 4)	= 12	
SITE TOTAL OFF-STREET PARKING REQUIREMENT			
= 165			
REQUIRED: 6 TOTAL PARKING STALLS SHALL BE ACCESSIBLE (MINIMUM OF 2 ACCESSIBLE STALLS SHALL BE VAN ACCESSIBLE)			
PROVIDED: 6 TOTAL ACCESSIBLE PARKING STALLS INCLUDING 4 VAN STALLS			
REQUIRED BICYCLE PARKING: 165 PARKING STALLS/ 15= 11 BICYCLE STALLS			
PROVIDED BICYCLE PARKING: 3 BICYCLE RACKS OUTSIDE BUILDING & 1 BICYCLE RACK INSIDE BUILDING FOR 16 BICYCLES TOTAL			
COMPACT STALLS COMprise 18.3% OF THE TOTAL APARTMENT HOUSE PARKING 153 APARTMENT HOUSE SPACES, 28 COMPACT = 18.3%			
STANDARD (8.5' x 18')	COMPACT (8' x 16')	ACCESSIBLE SPACES	TOTAL PROVIDED
STRUCTURED PODIUM PARKING	85	0	4
SURFACE	46	28	76
TOTAL SITE PARKING	131	28	165

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

Proposed
Layout Plan

drawing name: C-2

drawing number: 1607-01

revision: 01/11/11

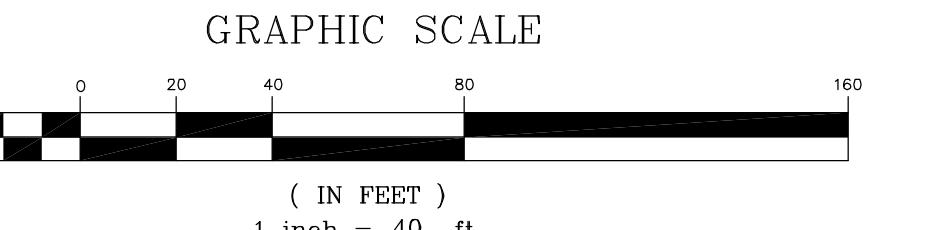
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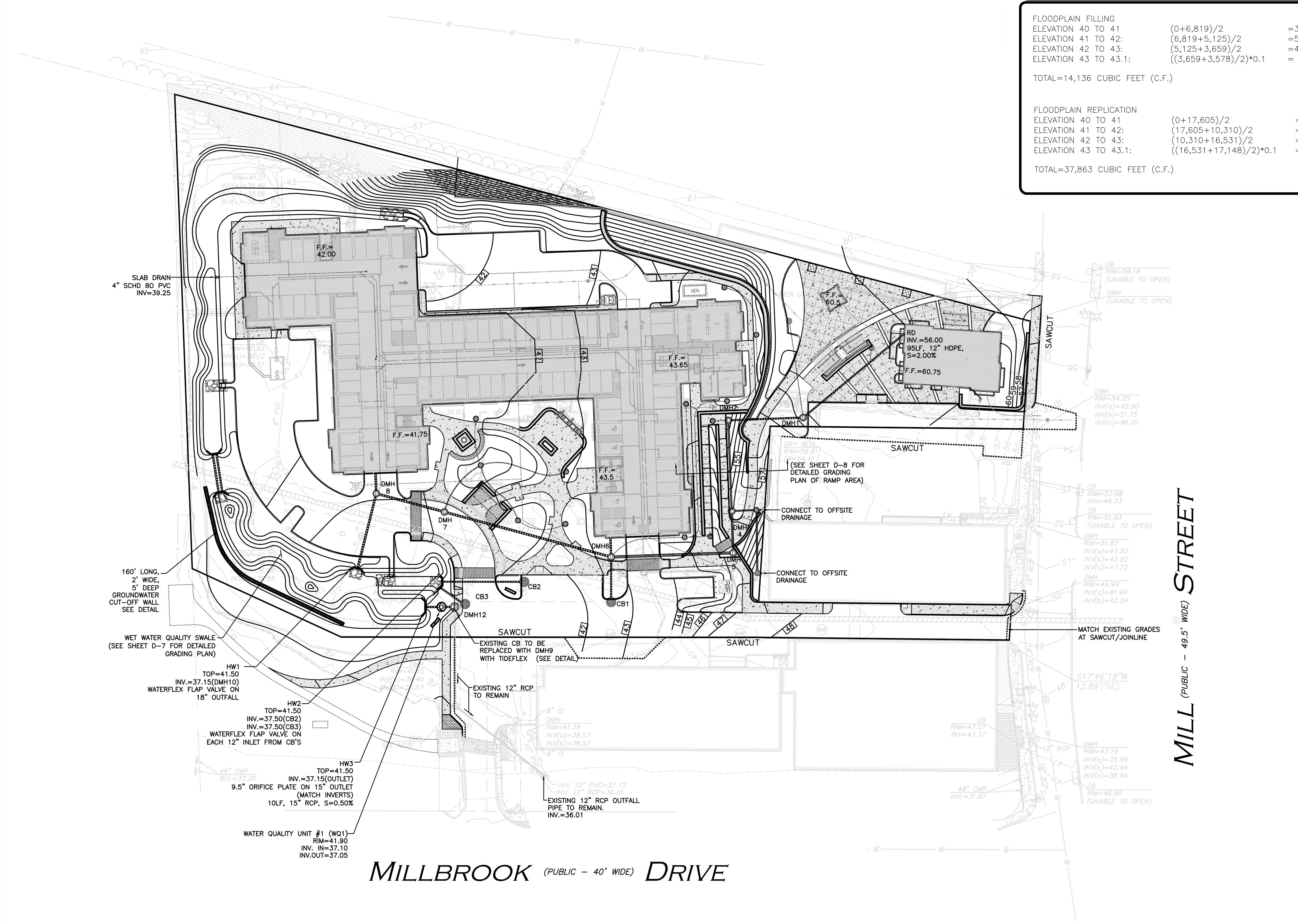
PROFESSIONAL ENGINEER
FOR
ALLEN & MAJOR ASSOCIATES, INC.

MASSACHUSETTS
REGISTERED
PROFESSIONAL
ENGINEER

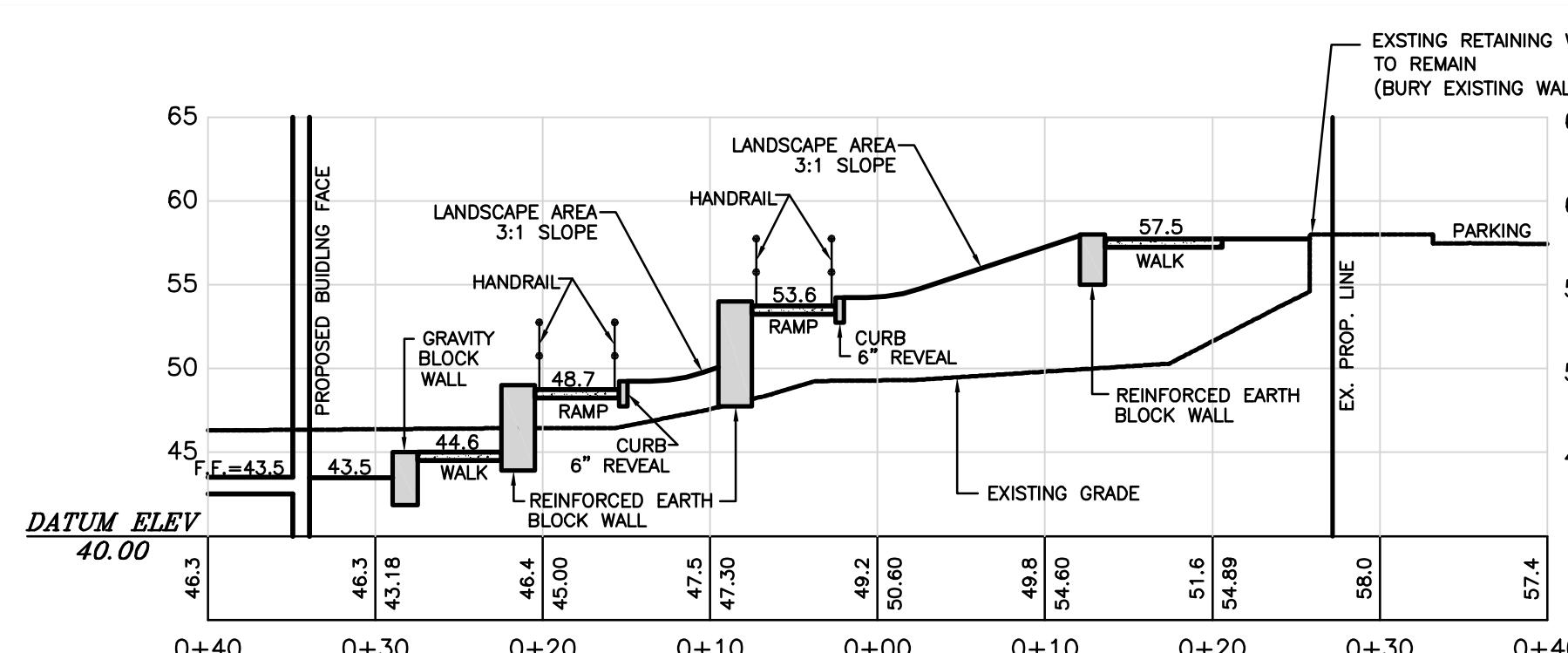
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MILL STREET



PEDESTRIAN PATH CROSS SECTION

HORIZONTAL - 1'-10"

VERTICAL - 1'-0"

PROPOSED DRAINAGE MANHOLES

STRUCT.	RIM	INVERT IN	INVERT IN	INVERT IN	INVERT OUT	LENGTH	SLOPE	DIA.	MATERIAL
DMH1	60.50	54.00(AD)	54.00(AD)	54.00(ROOF)	47.00	51	2.00%	12"	HDPE
DMH2	51.50	48.00(AD)	45.98(DMH1)	—	41.93	63	2.00%	12"	HDPE
DMH3	—	—	—	—	—	—	—	—	—
DMH4	56.00	40.67(DMH2)	46.50(AD)	—	40.17	27	2.00%	15"	HDPE
DMH5	46.50	39.63(DMH4)	—	—	39.13	86	0.50%	18"	HDPE
DMH6	43.50	39.20(RF/AD)	38.70(CB1)	38.70(DMH5)	38.60	125	0.80%	18"	HDPE
DMH7	41.10	37.60(DMH6)	37.60(AD)	—	37.60	47	0.50%	18"	HDPE
DMH8	41.00	38.00(UD)	37.37(DMH7)	37.37(RD)	37.37	55	0.40%	18"	HDPE
DMH9*	41.95	37.01(WO1)	—	—	36.91	EXISTING 12" OUTFALL PIPE			

*DMH9 USES 12" TIDEFLEX FLAP VALVE ON THE INLET PIPE.

PROPOSED WATER QUALITY INLETS

STRUCTURE	RIM	INVERT OUT	LENGTH	SLOPE	DIA.	MATERIAL
CB1*	42.60	39.00	30	1.00%	12"	HDPE
CB2*	41.55	38.10	60	1.00%	12"	HDPE
CB3*	41.15	37.71	21	1.00%	12"	HDPE

*CONTECH CDS2015-4 (OR APPROVED EQUAL)

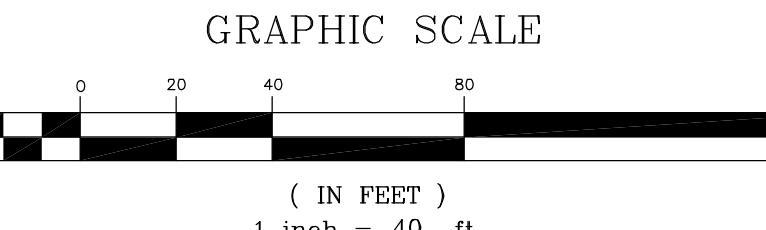
PROPOSED WATER QUALITY STRUCTURES

STRUCTURE	RIM	INV. IN	INV. OUT	LENGTH	SLOPE	DIA.	MAT.
WQ1*	41.90	37.10	37.05	5'	0.50%	15"	RCP

*CONTECH CDS3020 (OR APPROVED EQUAL)

LEGEND:

DRAIN MANHOLE	
CATCH BASIN	
FLARED END SECTION	
DRAIN LINE	
RIPRAP OUTFALL	
HEADWALL	
1' CONTOUR	
SPOT GRADE	
SAW-CUT LINE	
PERFORATED UNDERDRAIN	
SOLID UNDERDRAIN	



(IN FEET)

1 inch = 40 ft

C-3

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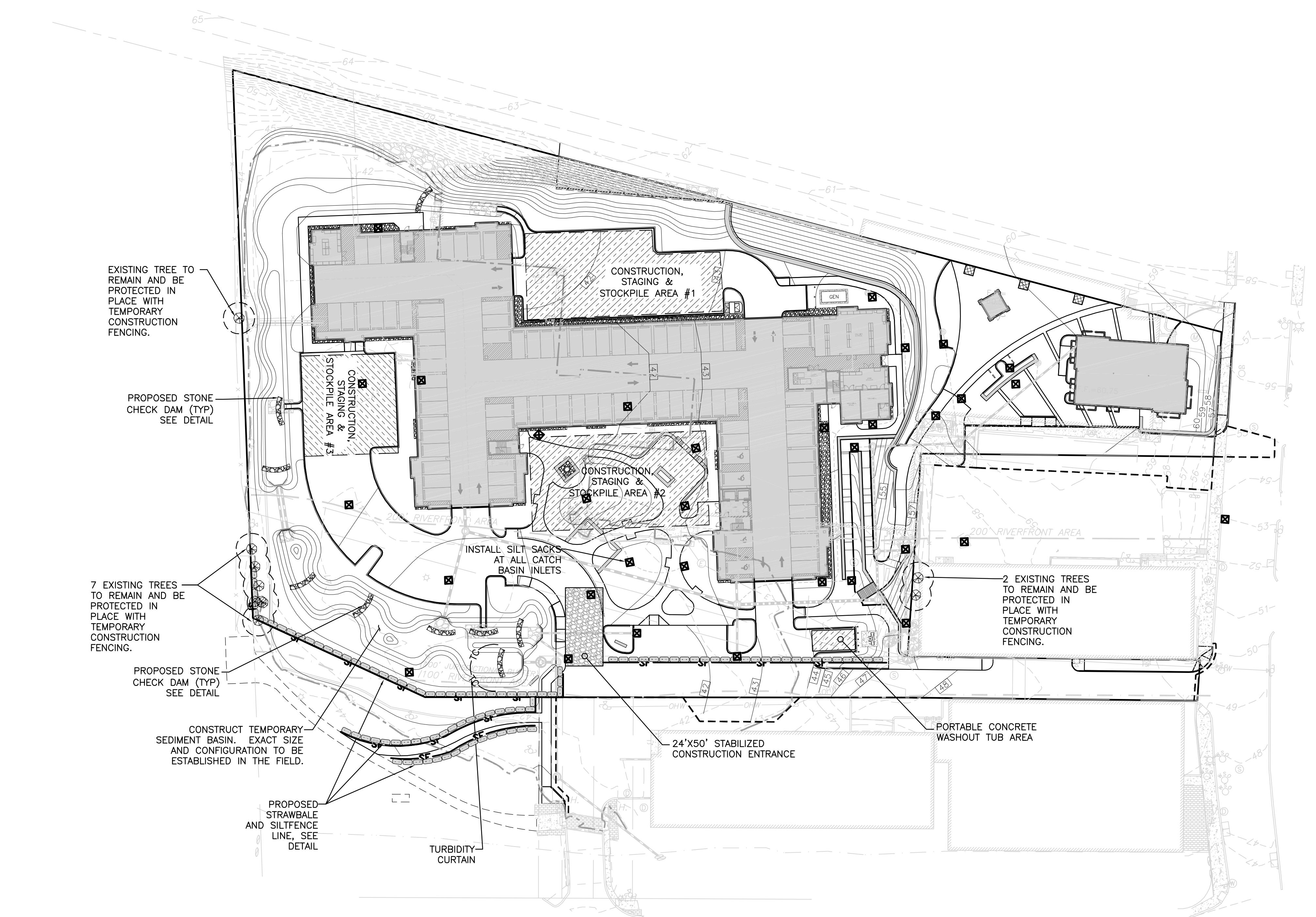
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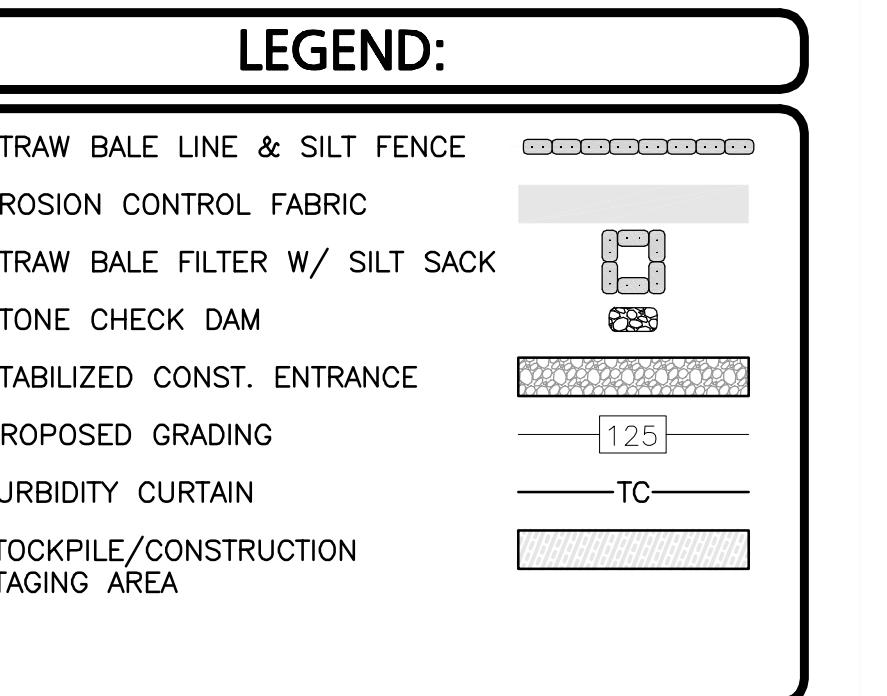
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



MILL STREET (PUBLIC - 49.5' WIDE)
MILLBROOK (PUBLIC - 40' WIDE) DRIVE

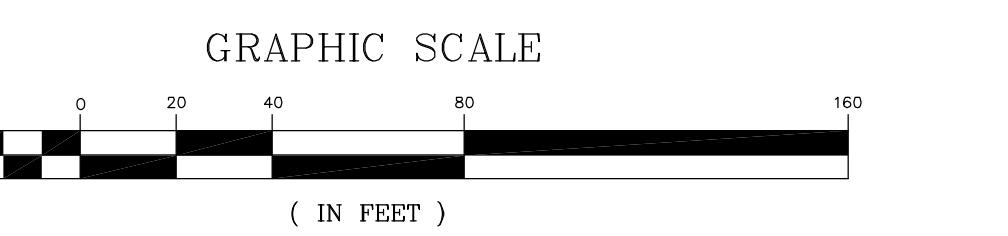


MILL STREET (PUBLIC - 49.5' WIDE)

NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS PROVIDED AS A GUIDE ONLY. DUE TO THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND "DIA" AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THERE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL ELEVATIONS REFER TO NGVD '29.
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ARLINGTON, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR SPRING PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER PER PLANT SCHEDULE ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER AND APPROVED PRIOR TO PLACEMENT.
- SPREAD THE FOLLOWING 2 SEED MIXES AT WET WATER QUALITY GRASS SWALE AS SHOWN ON THE PLAN.

- 1 NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (SEE SEED MIX SPECIFICATION ABOVE)
2. NEW ENGLAND EROSION CONTROL MIX FOR DETENTION BASINS & MOIST SITES (SEE SEED MIX SPECIFICATION ABOVE)

MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF 50% AND SPREAD AT A RATIO OF 1 LB PER 500 SQ FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.

SEEDED AREAS TO BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE. A NON-INVASIVE WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION IN THE FALL.

20. SPREAD NEW ENGLAND EROSION CONTROL MIX FOR DRY SITES AT THE REAR SLOPE OF THE BUILDING AS SHOWN ON THE PLAN. (SEE SEED MIX SPECIFICATION ABOVE)
- SPREAD AT A RATIO OF 1 LB PER 500 SQ. FT. SEED MIX AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.

SEEDED AREAS TO BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE. A NON-INVASIVE WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION IN THE FALL.

21. LANDSCAPE AREAS NOTED ON THE PLAN, INCLUDING MOVED LAWNS, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER-EFFICIENT UNDERGROUND IRRIGATION. DO NOT USE SPRINKLERS OR GROUNDSWATER DEPENDANT IRRIGATION SYSTEMS. THE INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, A SUBMITTER FOR THE IRRIGATION SYSTEM, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
22. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL TO BE TILLED TO A DEPTH OF AT LEAST 12" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
23. ALL LANDSCAPE SHRUBS, PERENNIALS, AND TREES TO BE INSTALLED A MINIMUM OF 24" AWAY FROM BUILDING STRUCTURE.

WET WATER QUALITY GRASS SWALE NOTES:

1. GRADING, AND PLANTING OF WET WATER QUALITY SWALE SHALL BE COMPLETED IN EARLY PHASES OF EARTHWORK CONSTRUCTION. PLANTS, MUST BE ESTABLISHED PRIOR TO CONNECTING STORM DRAINAGE SYSTEM, AND STARTING BITUMINOUS PAVING. PLANTS SHALL HAVE A MINIMUM OF 2 MONTHS GROWING, BE ESTABLISHED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING BITUMINOUS PAVING AND CONNECTING STORM DRAINAGE SYSTEM.
2. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE SWALE AREA BY RELYING ON DRY SEASON AND OR DRY SPLASH, OR MAY BE ACCOMPLISHED THROUGH THE USE OF Dewatering METHODS. WATER FROM ANY Dewatering OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

NEW ENGLAND WETLAND PLANTS INC. SEED MIXES (UNMOWED AREAS):
(SEE LANDSCAPE NOTES; FOR APPLICATION RATE OF SEED MIXES)

NEW ENGLAND EROSION CONTROL / RESTORATION MIX
(FOR DETENTION BASINS AND MOIST SITES);
(BY NEW ENGLAND WETLAND PLANTS INC.):

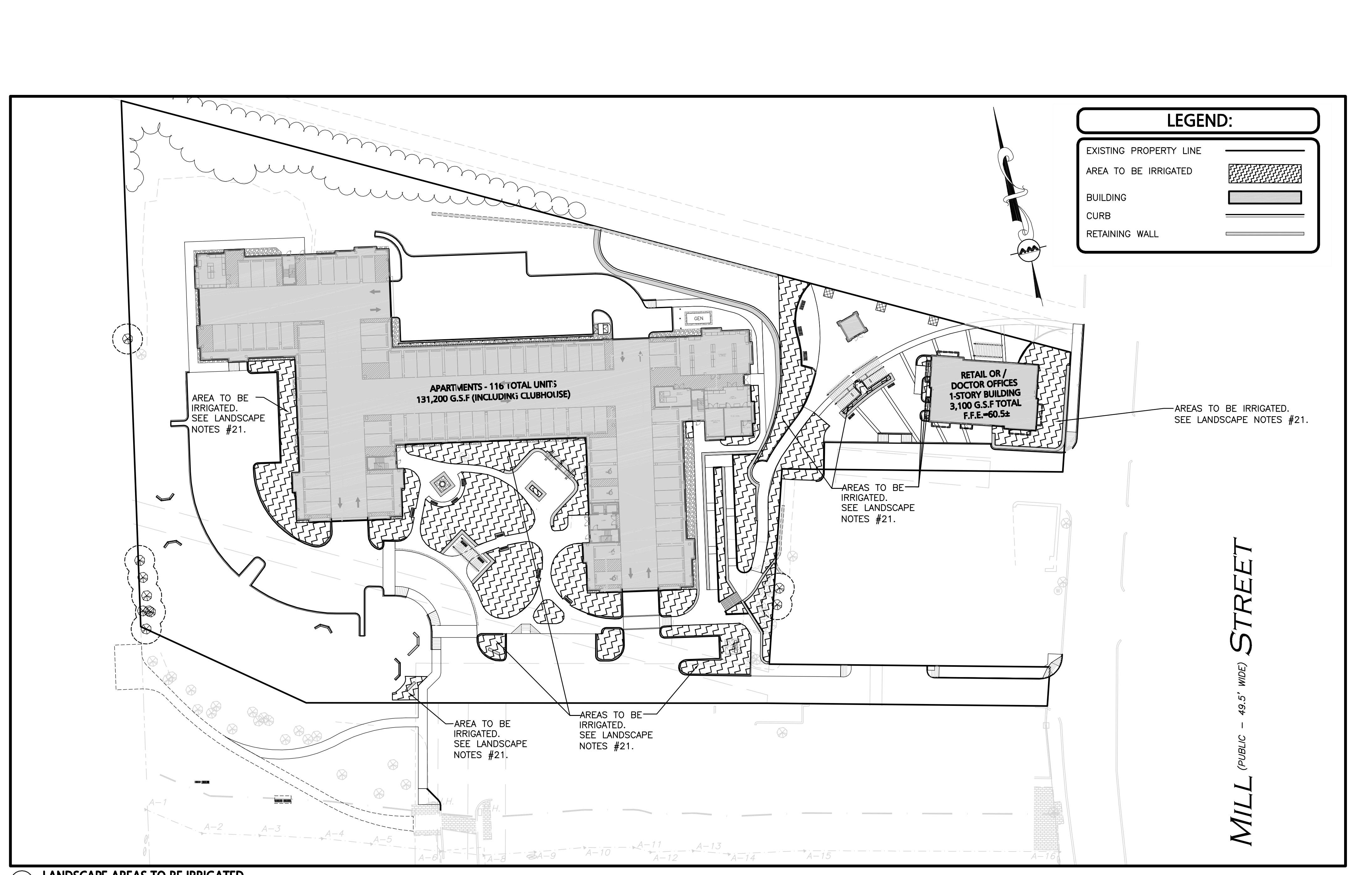
COMMON NAME	LATIN NAME	1. UPLAND BENTGRASS	AGROSTIS PERENNANS
1. UPLAND BENTGRASS	AGROSTIS STOLONIFERA	2. ROUGH BENTGRASS/TICKLEGRASS	AGROSTIS SCARRA
2. CREEPING BENTGRASS	ANDROPOGON GERARDII	3. BLUE GRAMA	BOUTELLOUA GRACILIS
3. BIG BLUESTEM	CAREX VULPINOIDEA	4. CANADA WILD RYE	ELYMUS CANADENSIS
4. FOX SEDGE	CAREX VULPINOIDEA	5. CREEPING RED FESCUE	FESTUCA RUBRA
5. CREEPING RED FESCUE	FESTUCA RUBRA	6. ANNUAL RYEGRASS (NATURALIZED)	LOLIUM MULTIFLORUM
6. SMOOTH RYEGRASS	LEUCONEURUM ERICINUM	7. PERRENNIAL RYEGRASS (NATURALIZED)	LOLIUM PERENNE
7. SWITZERGRASS	PANICUM VIRGATUM	8. LITTLE BLUESTEM	SCHIZACHYRUM SCOPARUM
8. GREEN BULRUSH	SCIRpus ATRORIENS	9. INDIAN GRASS	SORGHASTRUM NUTANS
9. NEW ENGLAND ASTER	ASTER NOVAE-ANGLAE		
10. ELYMUS VIRGINICUS	VIRGINIA WILD RYE		
11. EUPATORIUM	PERFOLIATUM BONESET		
12. EUTHAMIA GRAMINIFOLIA	(SOLIDAGO G.)		
13. ONOCLEA SENSIBILIS	GRASS		
14. SCIRpus CYPERINUS	SENSITIVE FERN		
	WOOL GRASS		

LOAM AND SEEDING NOTES (MOWED AREAS):

CONTRACTOR SHALL SEED DISTURBED AREAS PER SPECIFICATIONS BELOW
(EXCEPT AS OTHERWISE NOTED FOR DETENTION BASINS AND NOTED SLOPES)

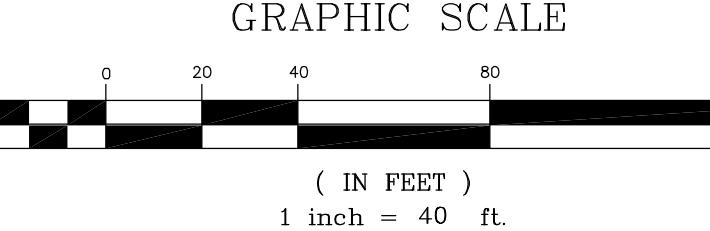
SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PURETY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA "WILMA"	WILMA CHEWINGS COMMUTATA WILMA	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. SEEDING TO BE COMPLETED BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS.
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREA FORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (10%), PHOSPHORUS (6%), POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
4. LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

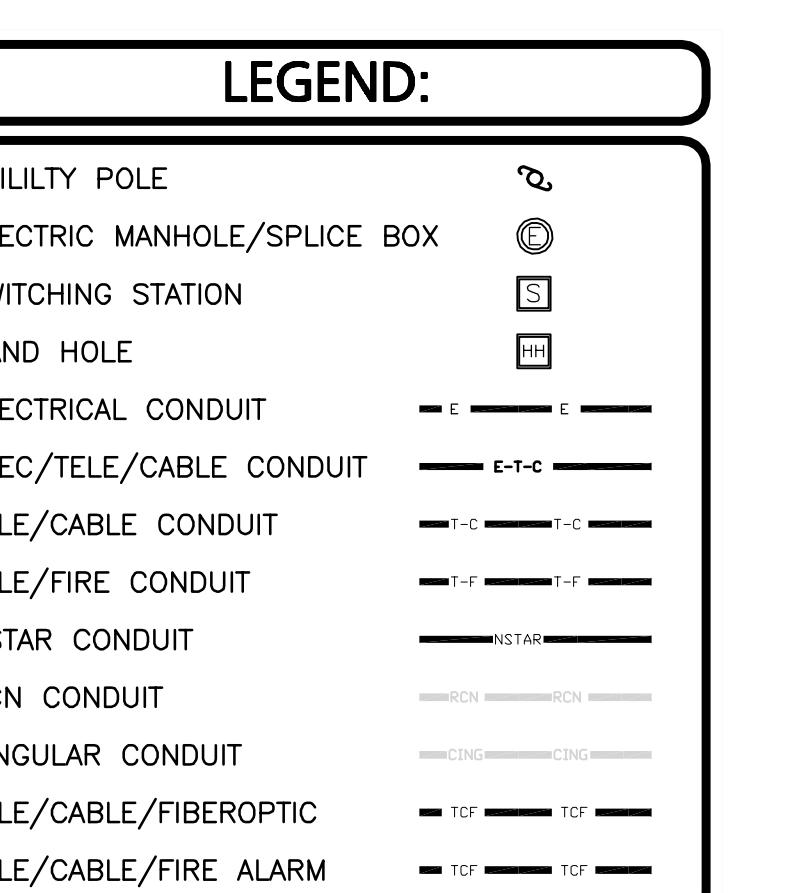


LANDSCAPE AREAS TO BE IRRIGATED

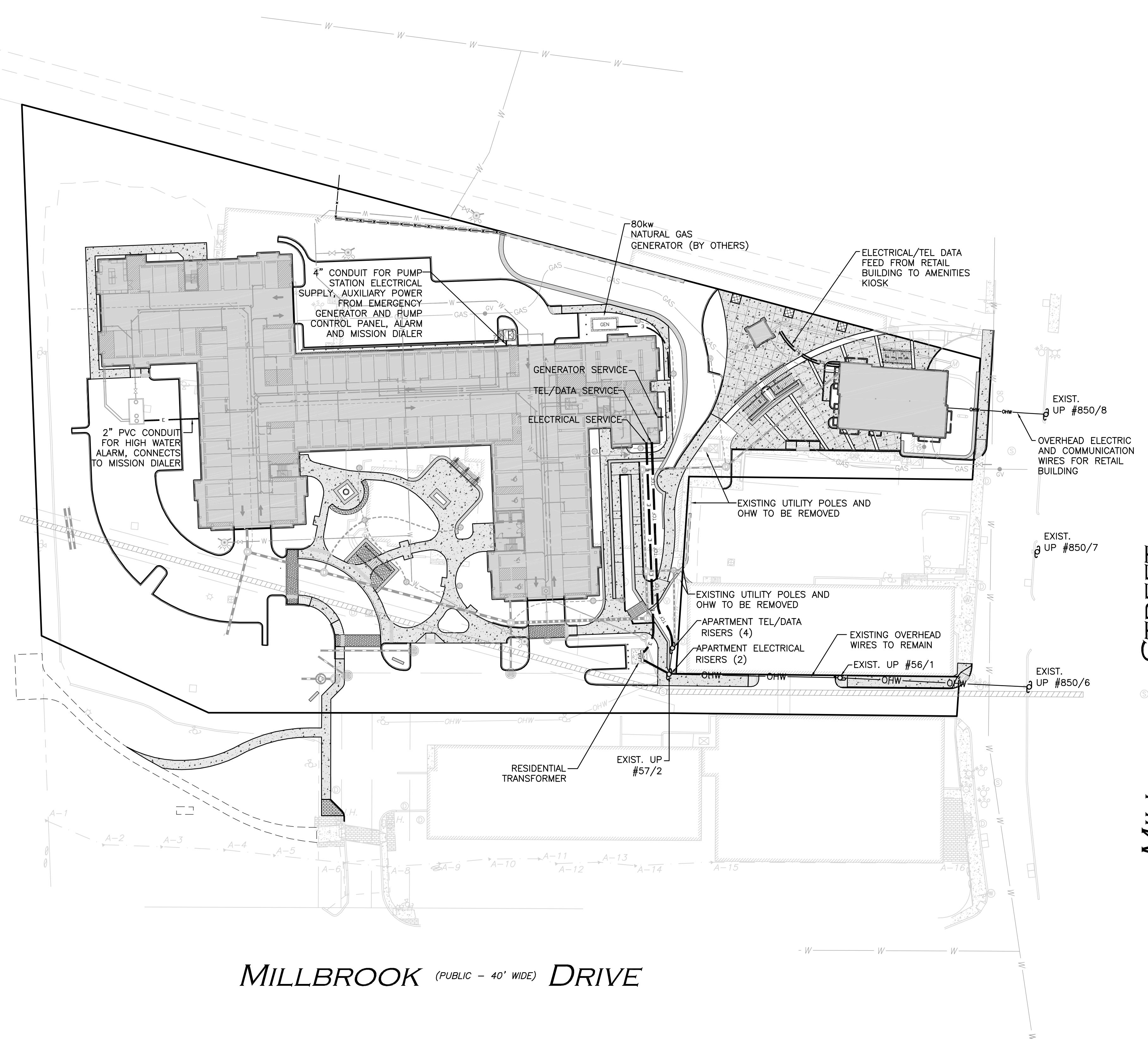
SCALE: 1"=40'



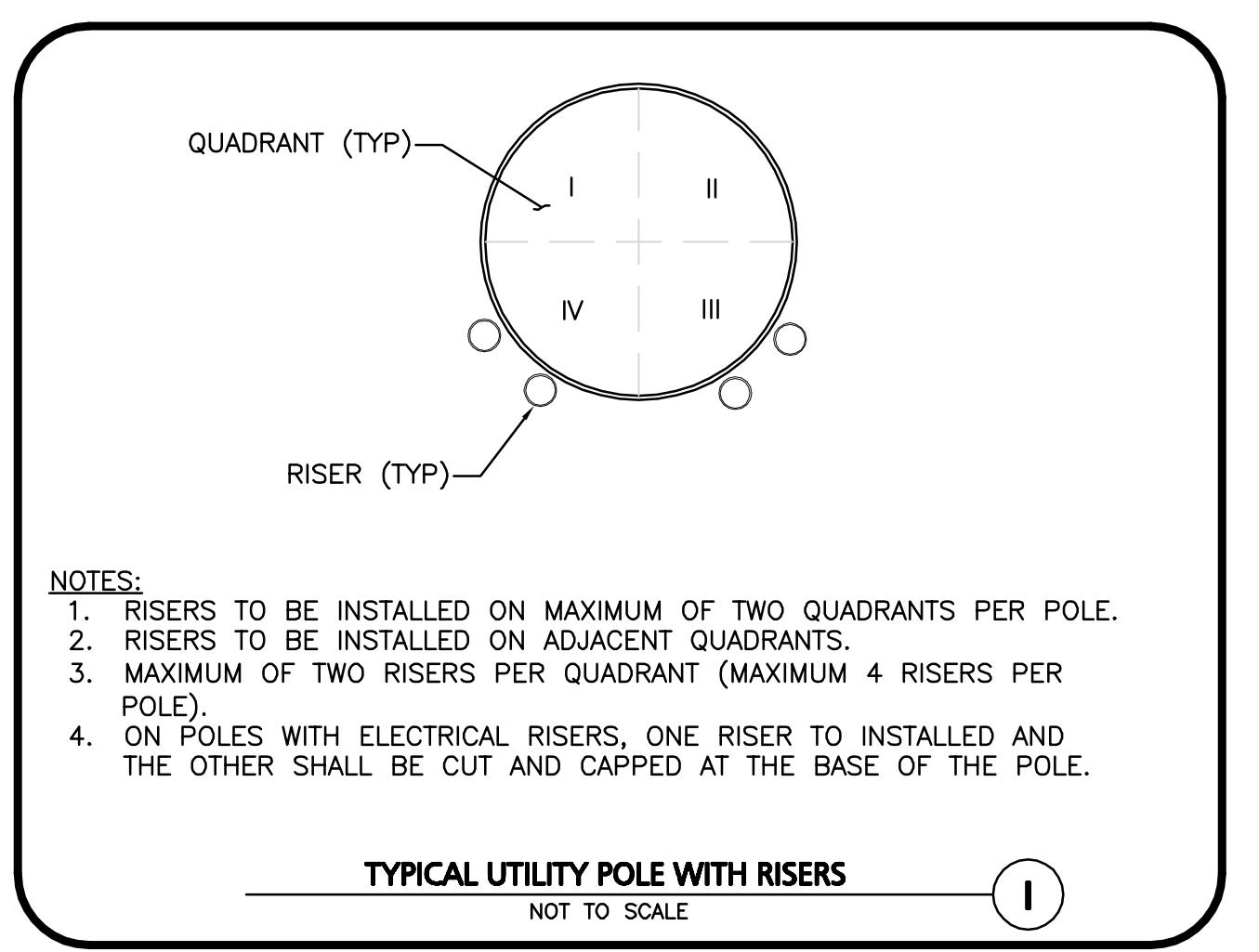
(IN FEET)
1 inch = 40 ft



MILL (PUBLIC - 49.5' WIDE) STREET



MILL (PUBLIC - 49.5' WIDE) STREET



APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BY-LAW HAS BEEN GRANTED:

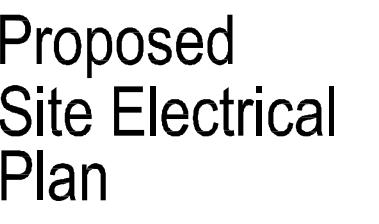
SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

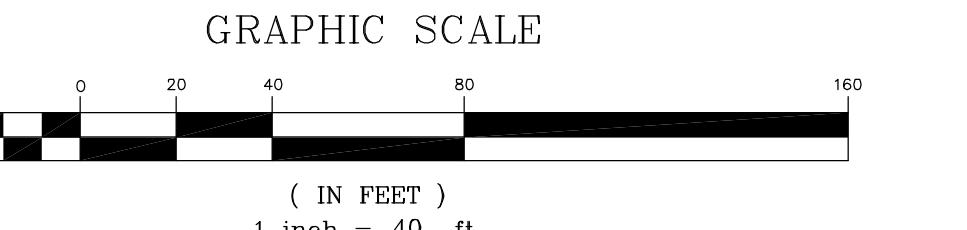
SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

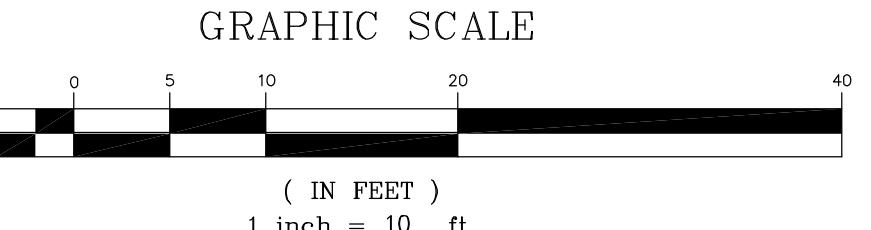
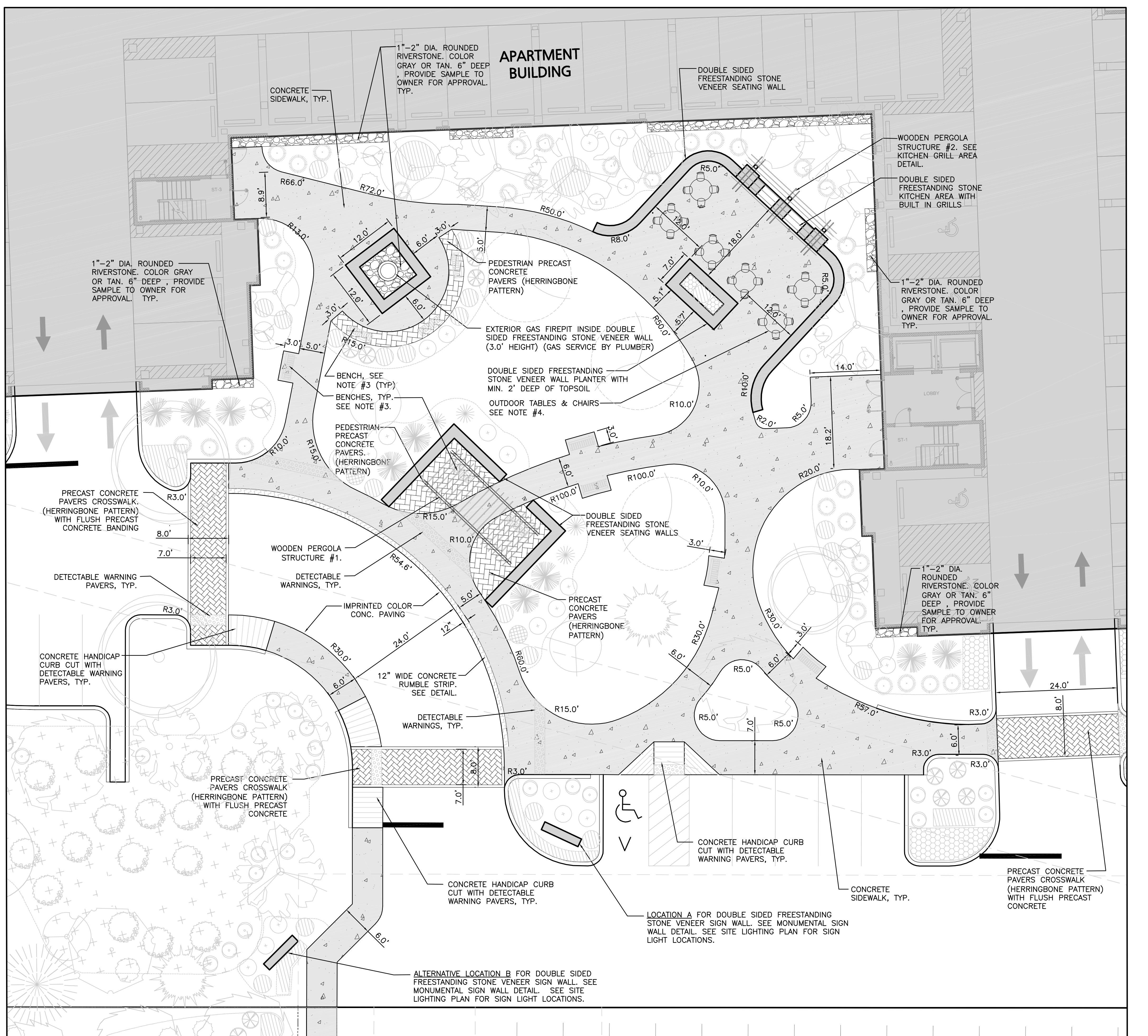
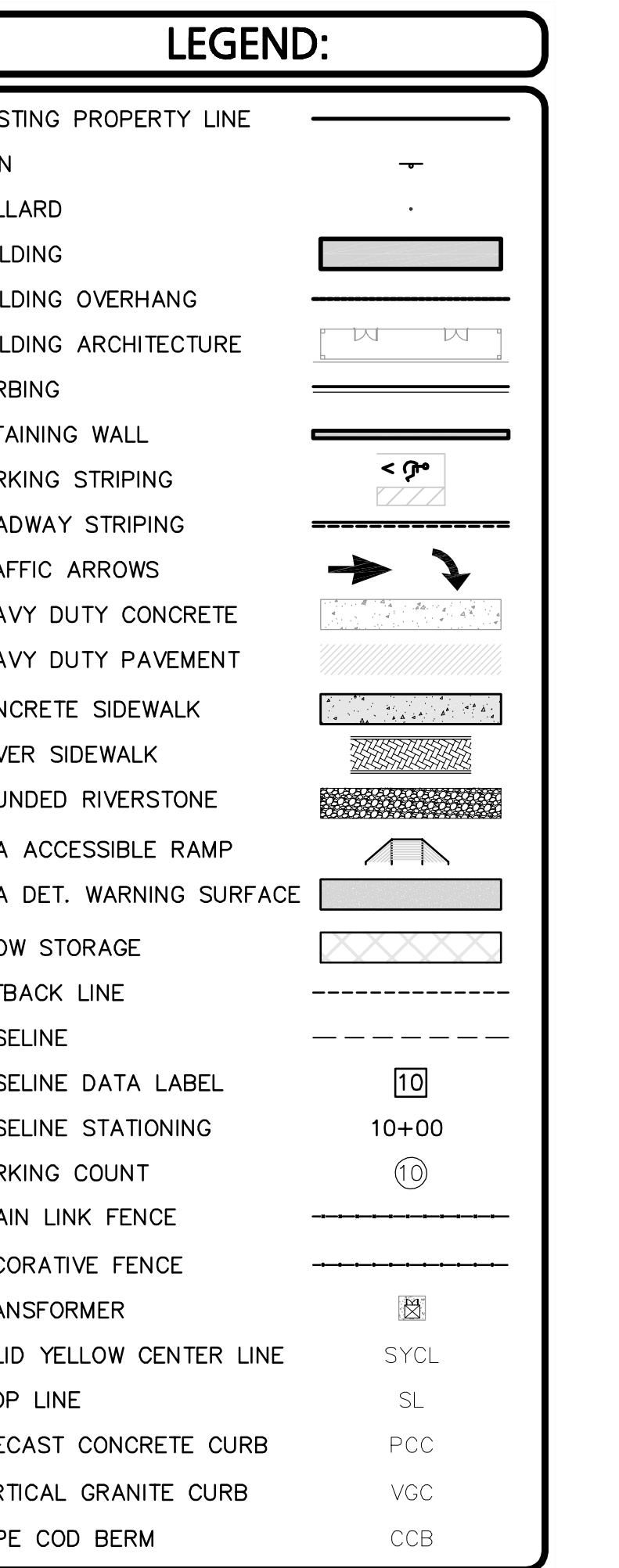
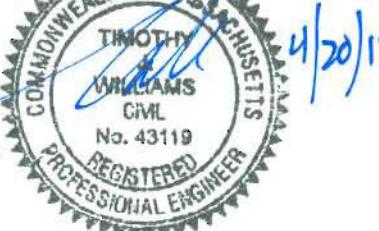


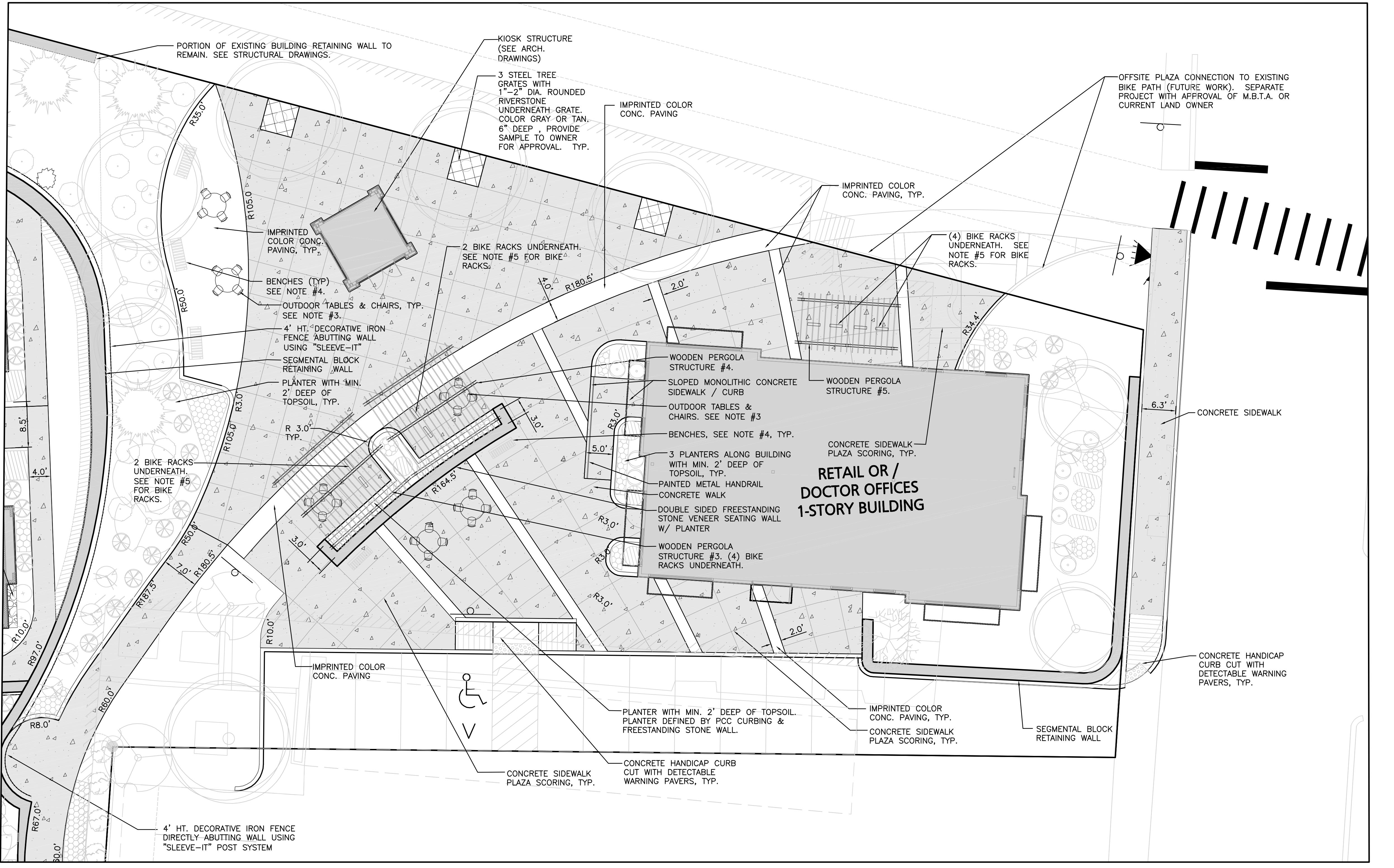
PROPOSED
Site Electrical
Plan



C-7

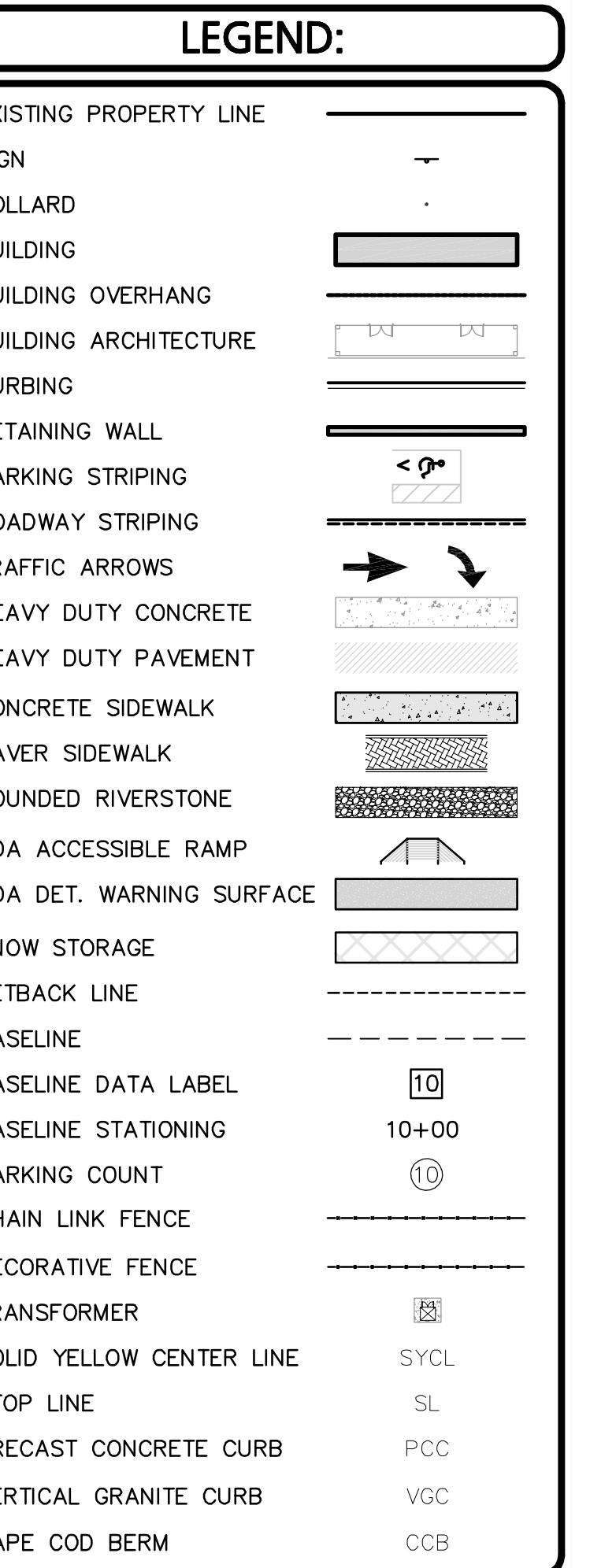
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY CERTIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR CALCULATION OF INFORMATION, OR DATA, WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
3. BENCHES TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS, 25" X 32" X 70" POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
4. OUTDOOR TABLES AND CHAIRS TO BE FROM LANDSCAPE FORMS; MODEL: MAINEAUX SOLAR SURFACE TABLE; FREESTANDING TABLE, 48" X 29" HGT, WITH CANOPY SUPPORT, POWERCOATED COLOR SELECTED BY OWNER. EACH TABLE TO HAVE 4 CHAIRS. CHAIRS TO BE LANDSCAPE FORMS; MODEL VERONA, 25" X 23" WITH ARMRESTS AND POWERCOATED COLOR SELECTED BY OWNER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.





DETAILED RETAIL PLAZA AMENITIES PLAN

SCALE: 1"=10'



NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- OUTDOOR TABLES AND CHAIRS TO BE FROM LANDSCAPE FORMS, MODEL: CHARLIE TABLE, 67" TABLE WITH UMBRELLA HOLE, 67" X 30" X 27". POWERCOAT COLOR SELECTED BY OWNER. TABLE TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- BENCHES TO BE FROM LANDSCAPE FORMS, MODEL: VILLAGE GREEN BENCH WITH END ARMS, 25" X 32" X 70", POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
- BIKE RACKS TO BE FROM LANDSCAPE FORMS, MODEL: FLO BIKE PACK 28" X 26" X 32", POWERCOATED AND SURFACE MOUNTED. SURFACE MOUNT PER MANUFACTURERS RECOMMENDATIONS. POWERCOAT COLOR SELECTED BY OWNER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BY-LAW HAS BEEN GRANTED:

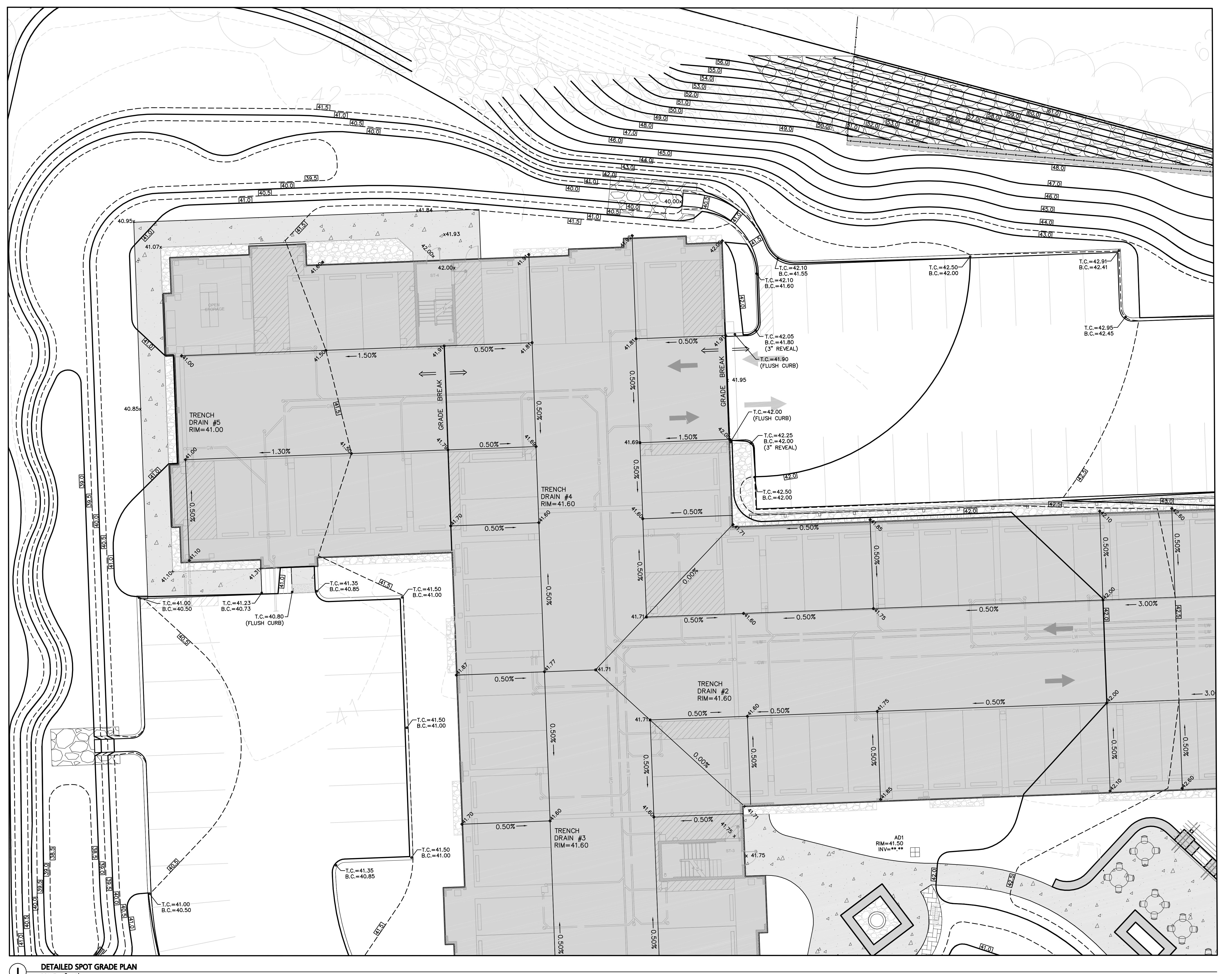
SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



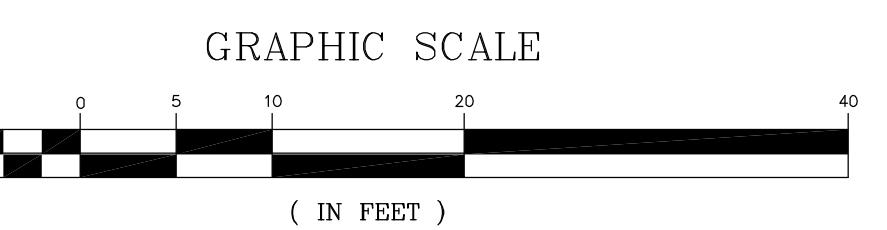
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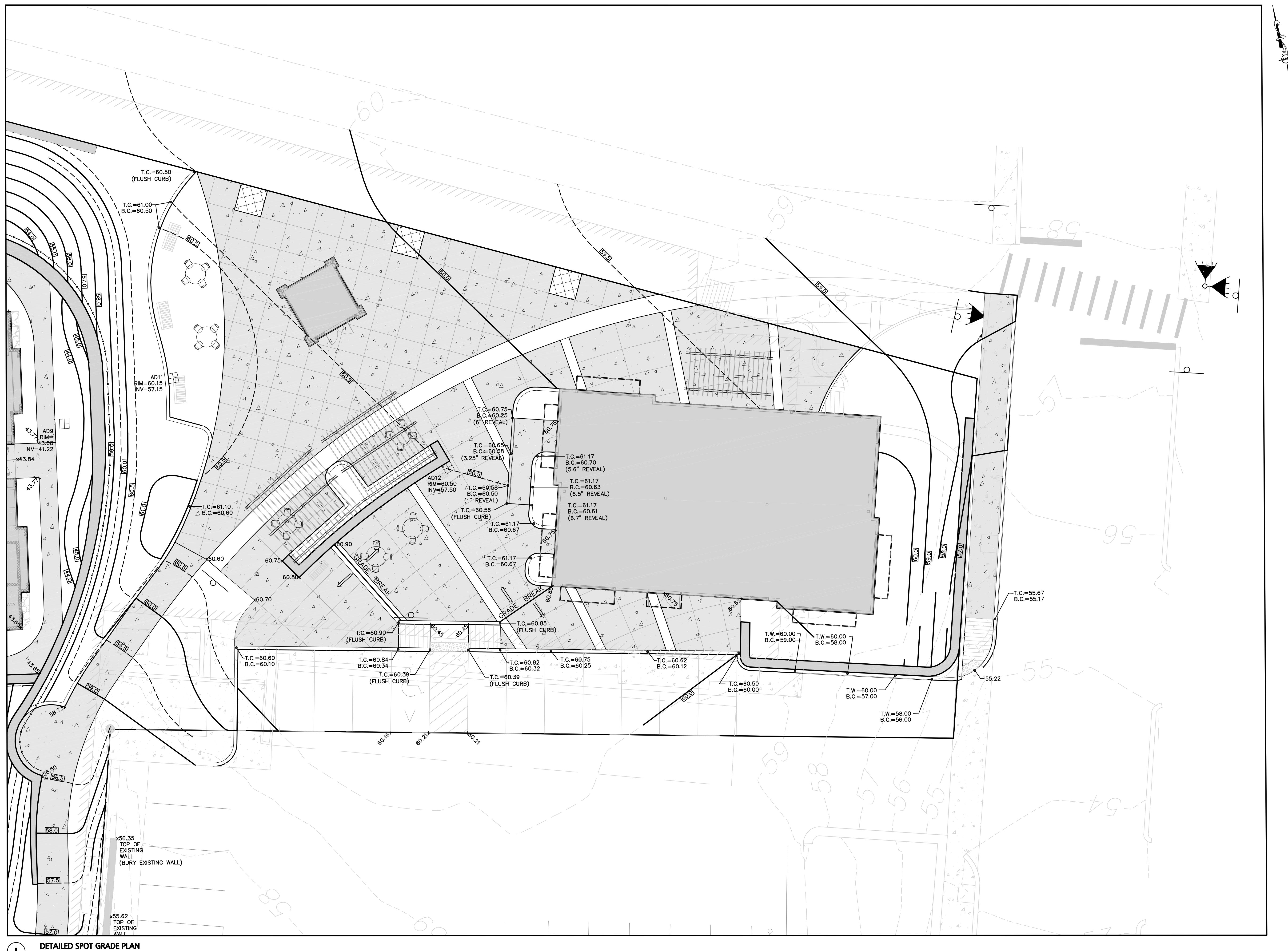
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C-10A



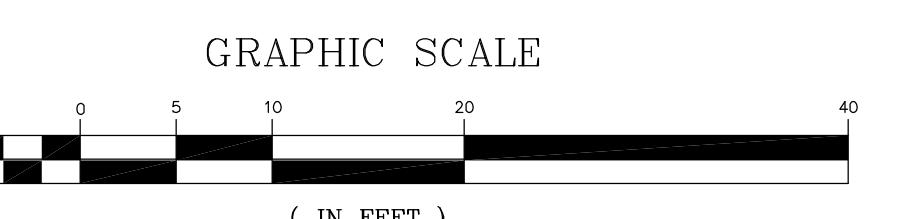
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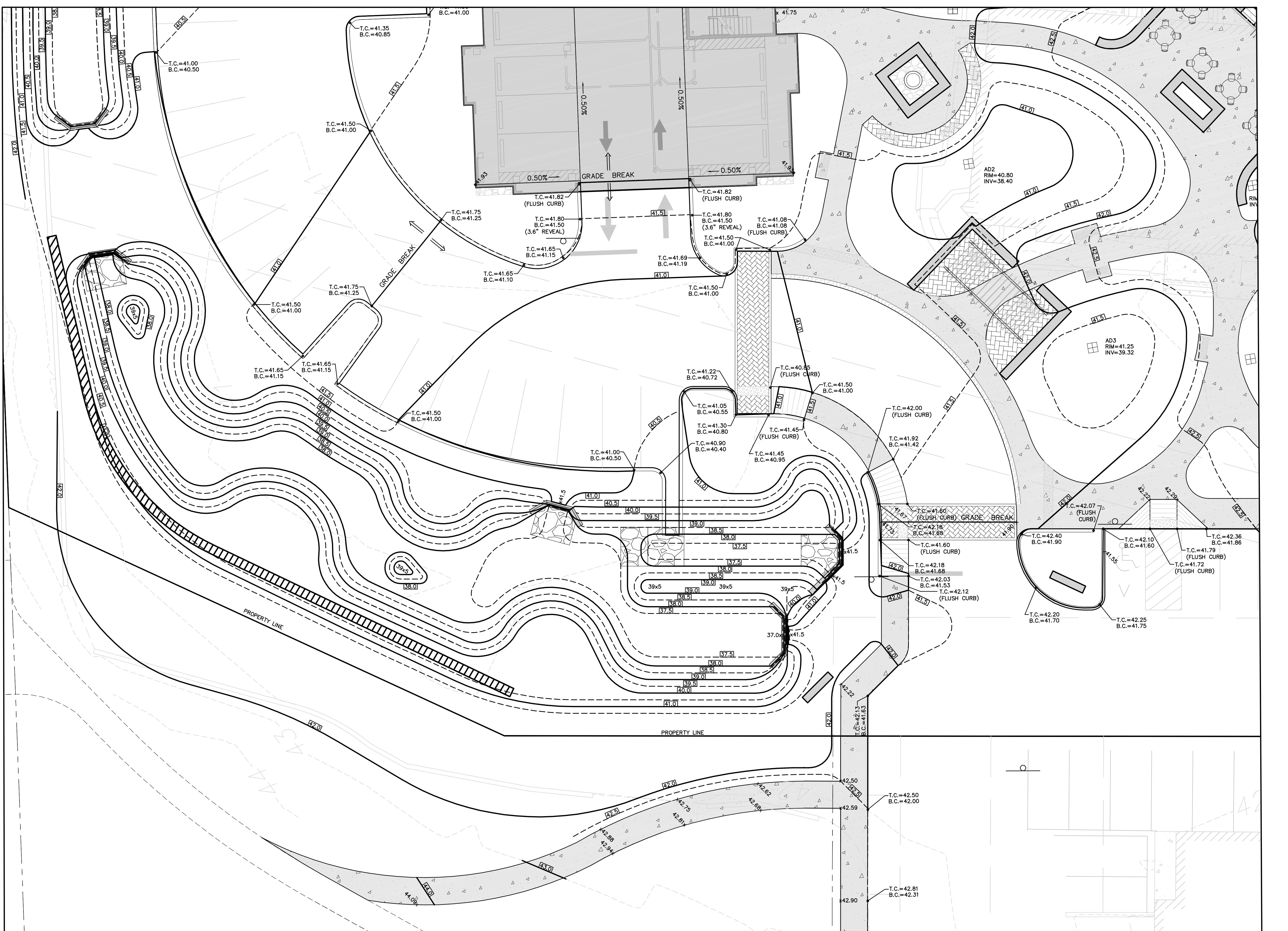
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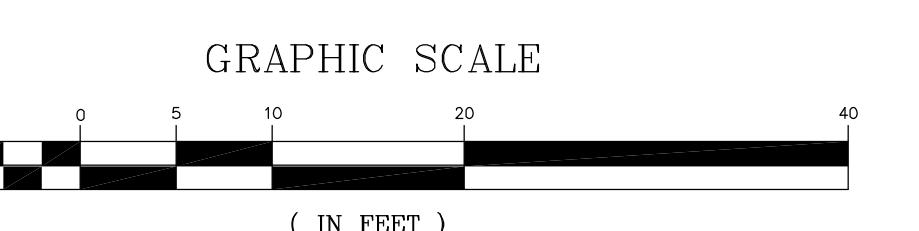
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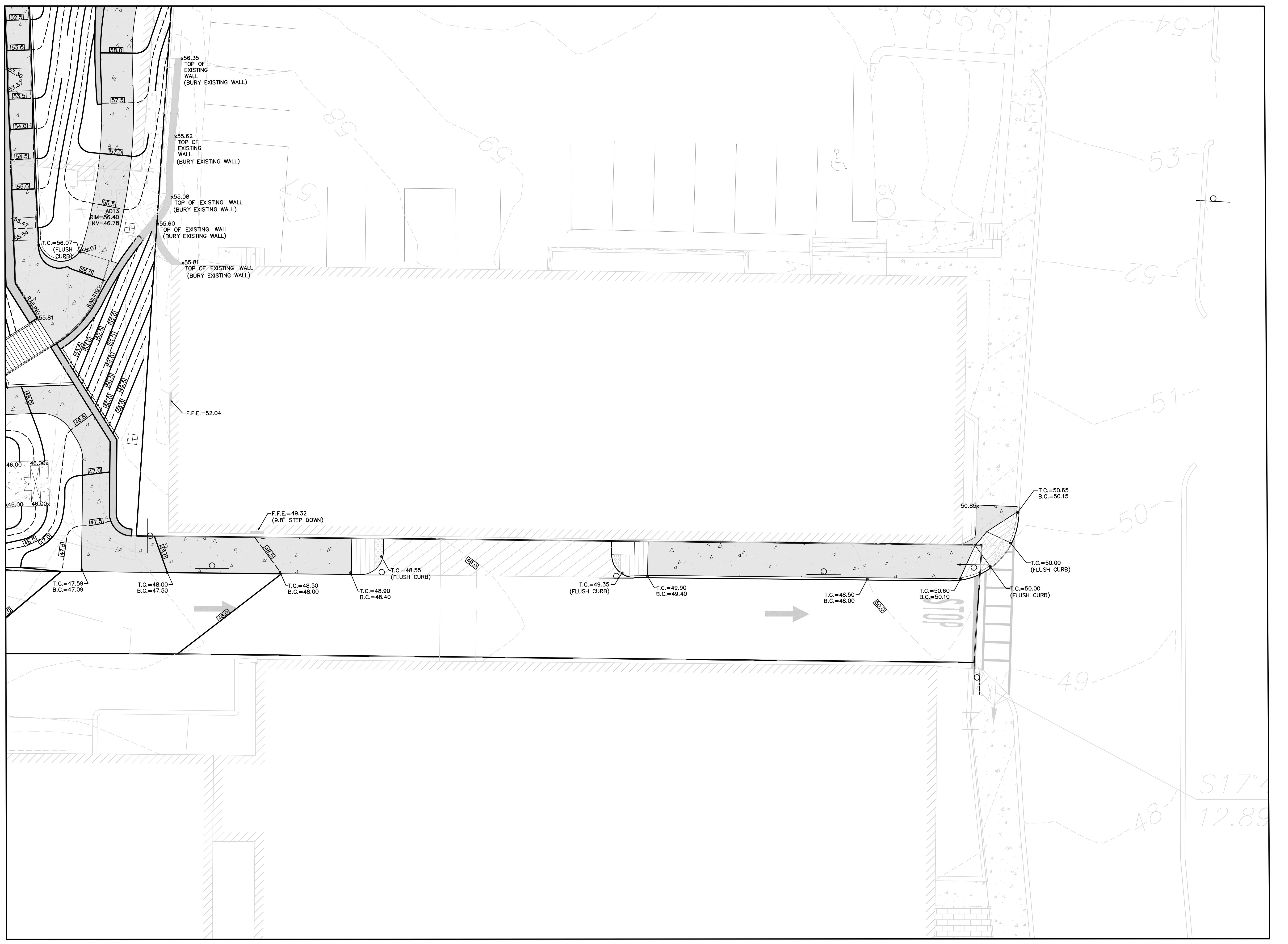
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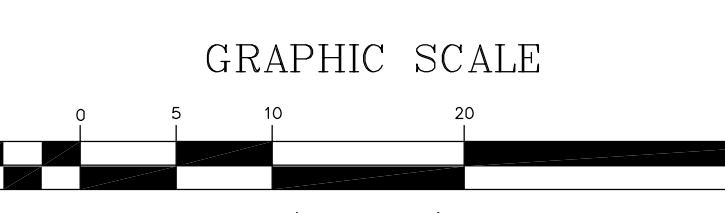
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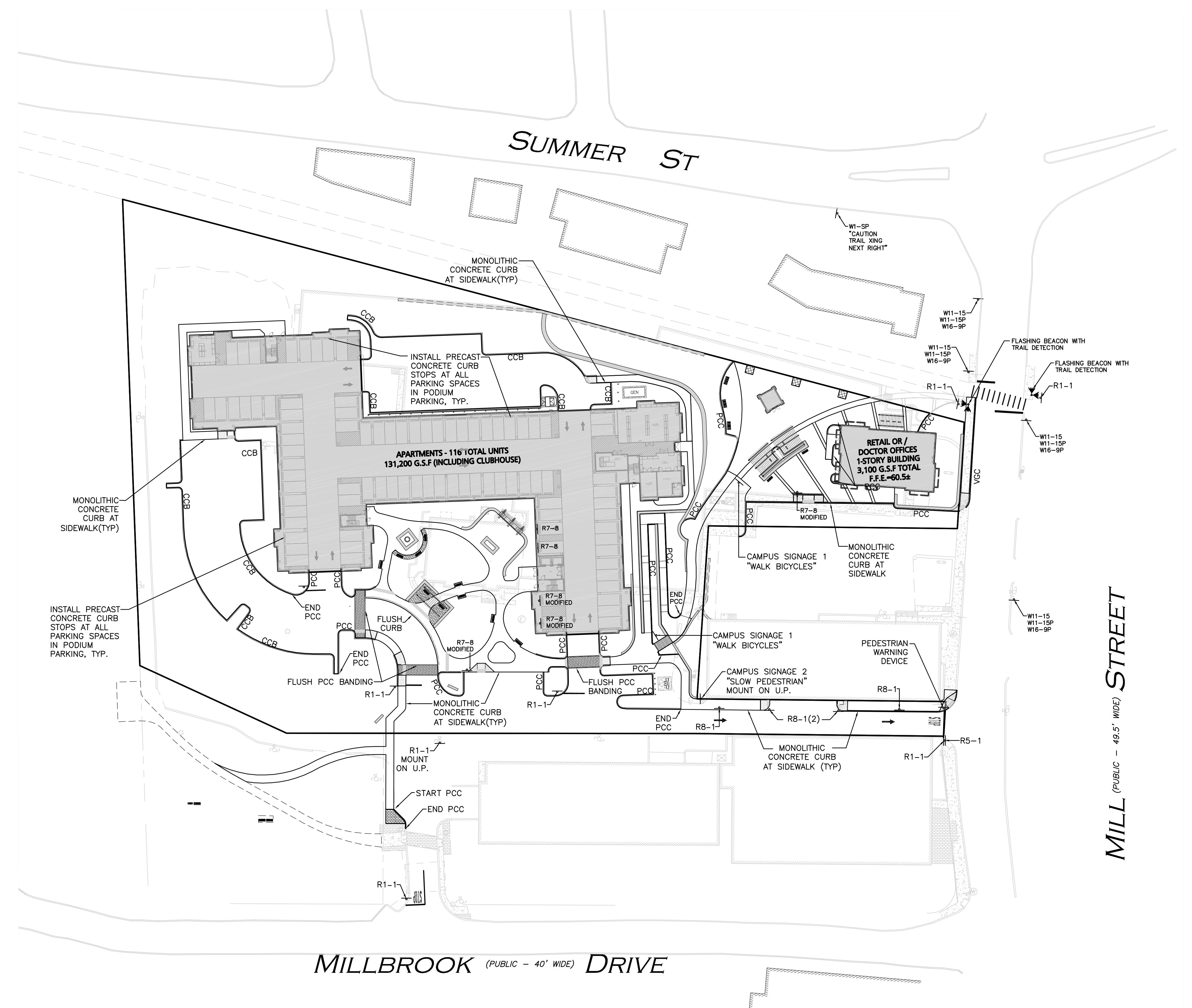
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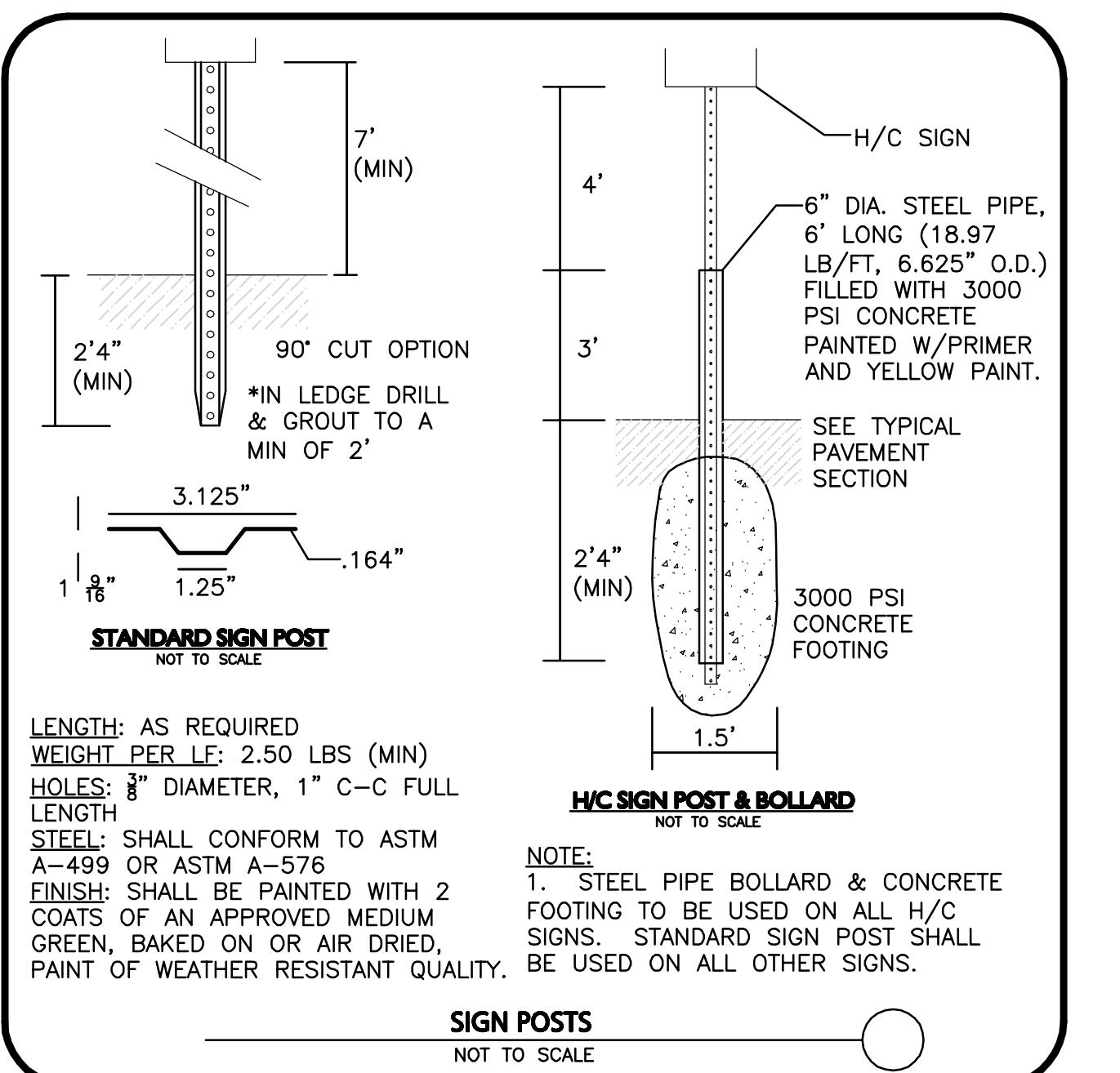
C-10F



LEGEND:	
SIGN	—
RETAINING WALL	—
CURBING	—
PAVER CROSSWALK	—
SIDEWALK	—
PRECAST CONCRETE CURB	PCC
CAPE COD BERM CURB	CCB
VERTICAL GRANITE CURB	VGC

STANDARD SIGNAGE TABLE:					
DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1	STOP	30" x 30"	7' - 0"	WHITE ON RED	YES
R5-1	DO NOT ENTER	30" x 30"	7' - 0"	RED ON WHITE	YES
R8-1 (MODIFIED)	NO PARKING FIRE LANE	12" x 18"	7' - 0"	RED ON WHITE	NO
R8-1(2) (MODIFIED)	NO PARKING	12" x 18"	7' - 0"	RED ON WHITE	NO
R7-8 (MODIFIED)	NO PARKING NO STANDING NO STANDING	12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO
R7-8	NO PARKING NO STANDING NO STANDING	12" x 20"	7' - 0"	GREEN & BLUE ON WHITE	NO

NOTES:
1) WHERE APPLICABLE THE SIGN SUPPORT SHALL COMPLY WITH THE
BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF AASHTO'S
"SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS,
LUMINAIRES, AND TRAFFIC SIGNALS".
2) PRECAST CONCRETE PARKING BUMPERS TO BE INSTALLED WITHIN
THE PODIUM PARKING AREAS.



LENGTH: AS REQUIRED
WEIGHT PER LF: 2.50 LBS (MIN)
HOLES: 3" DIAMETER, 1" C-C FULL
LENGTH
SIGN SHALL CONFORM TO ASTM
A-499 OR ASTM A-576
FINISH: SHALL BE PAINTED WITH 2
COATS OF AN APPROVED MEDIUM
GREEN, BAKED ON OR AIR DRIED,
PAINT OF WEATHER RESISTANT QUALITY.
NOTE:
1. STEEL PIPE BOLLARD & CONCRETE
FOOTING TO BE USED ON ALL H/C
SIGNS. STANDARD SIGN POST SHALL
BE USED ON ALL OTHER SIGNS.

SIGN POSTS
NOT TO SCALE

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
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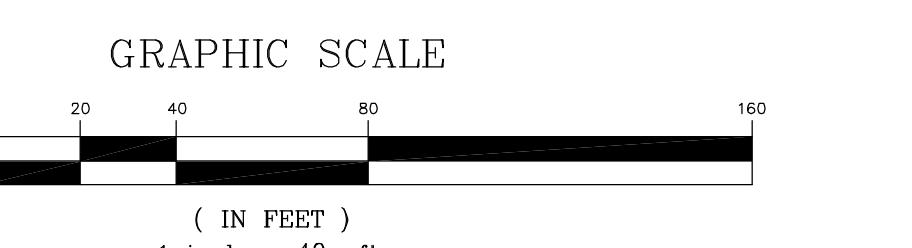
SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

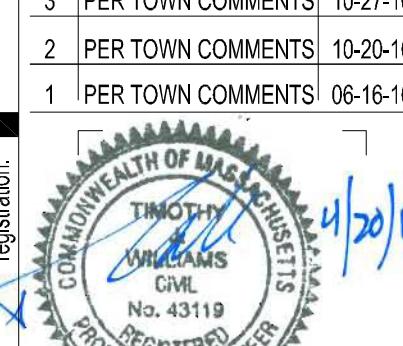
- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

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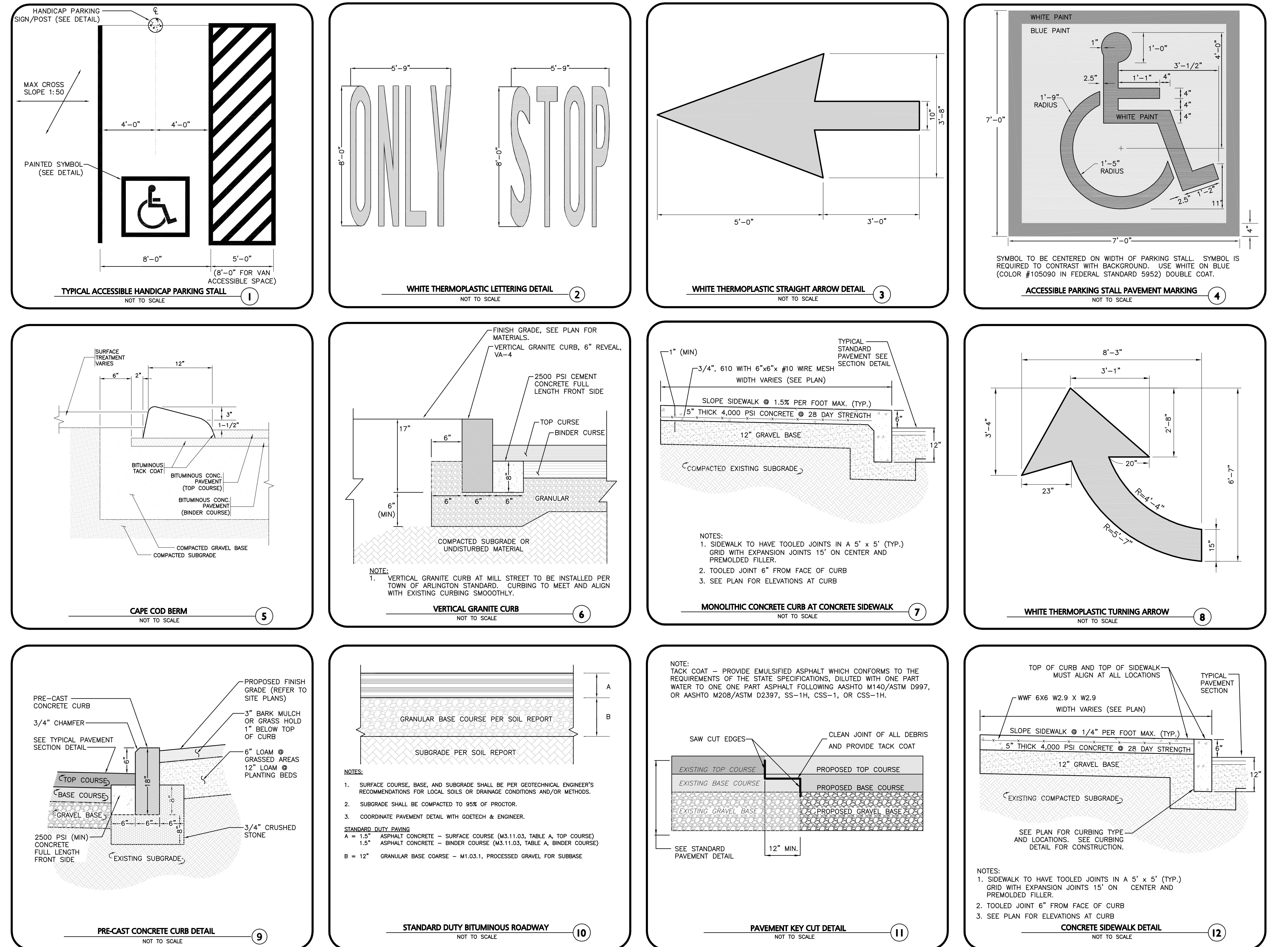




Details



D-1



AL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
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6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

MINIMUM LOT FRONTAGE

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8.12.4(1) PARKING & LOADING SPACE STANDARDS (APP)

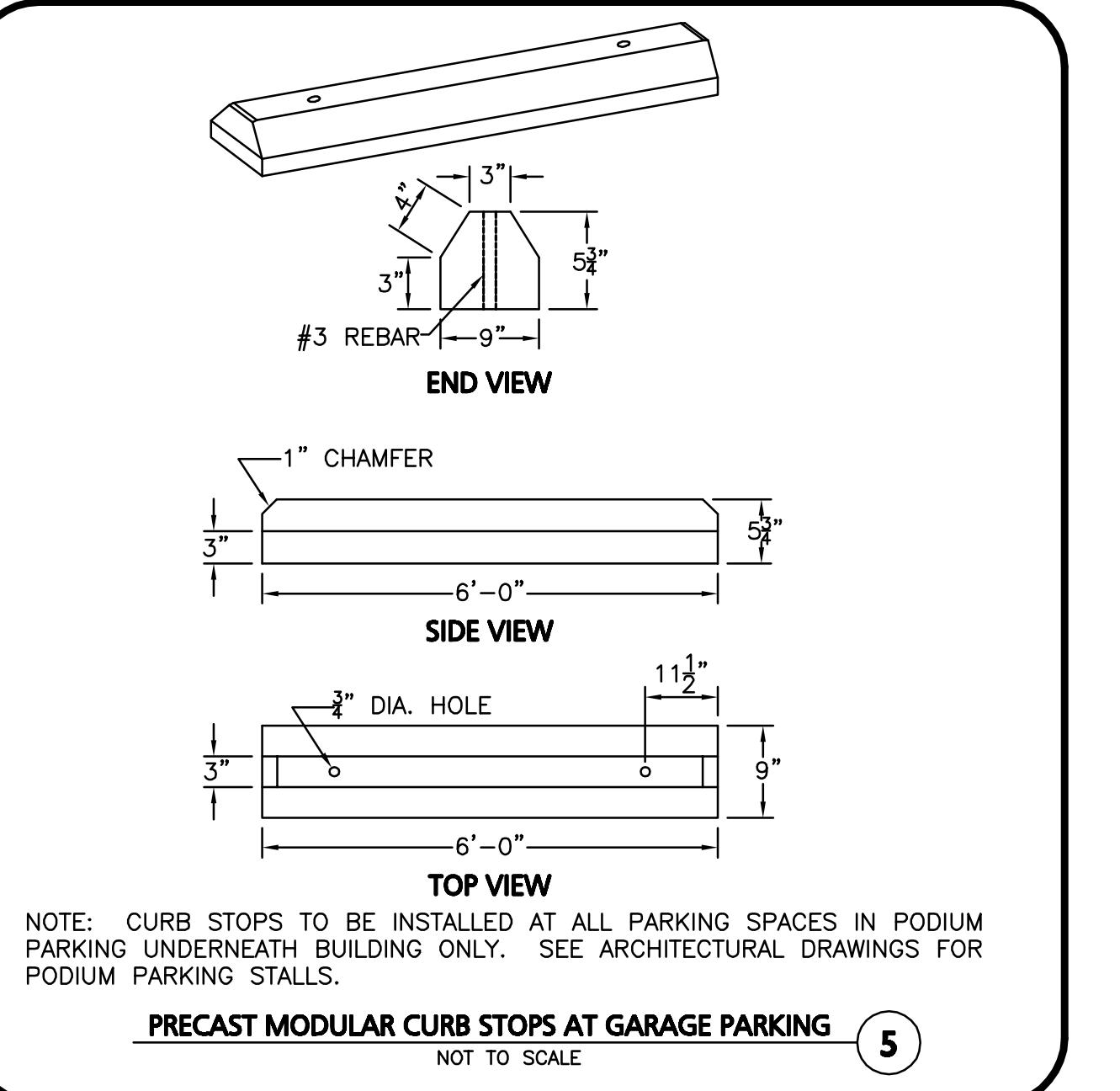
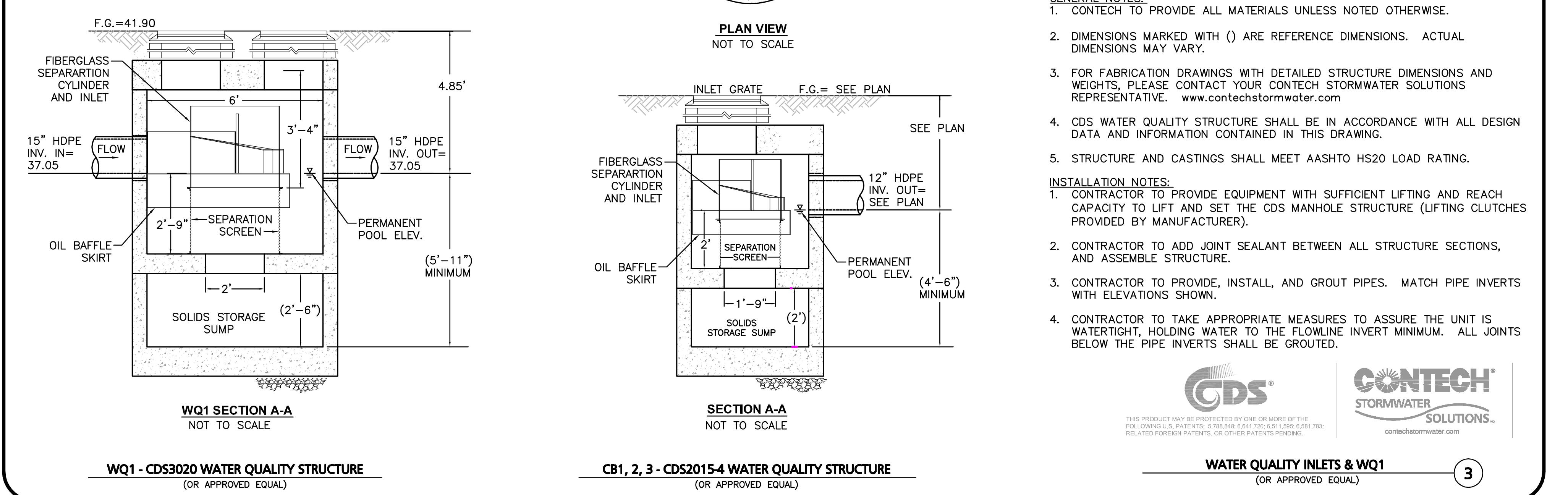
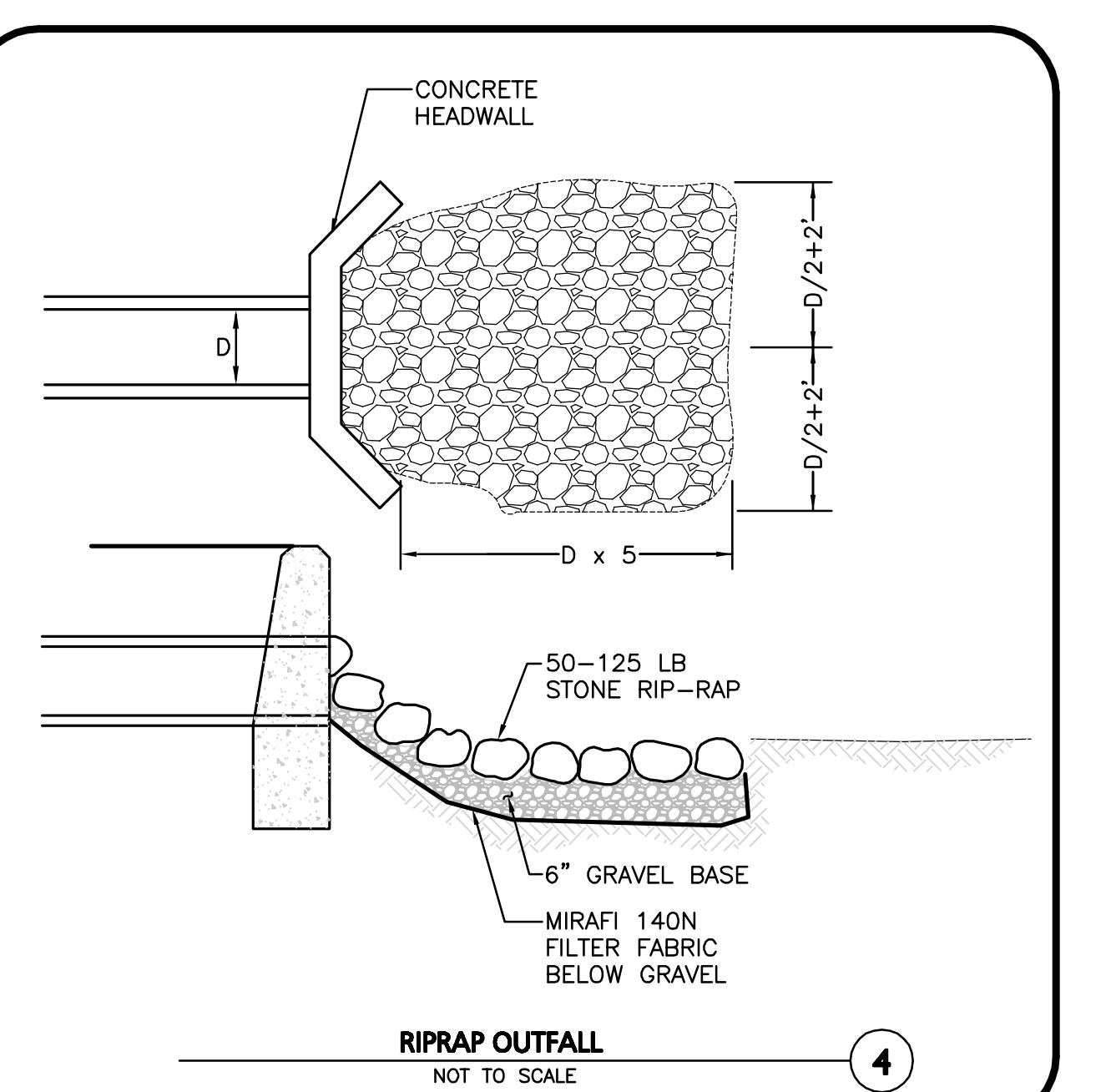
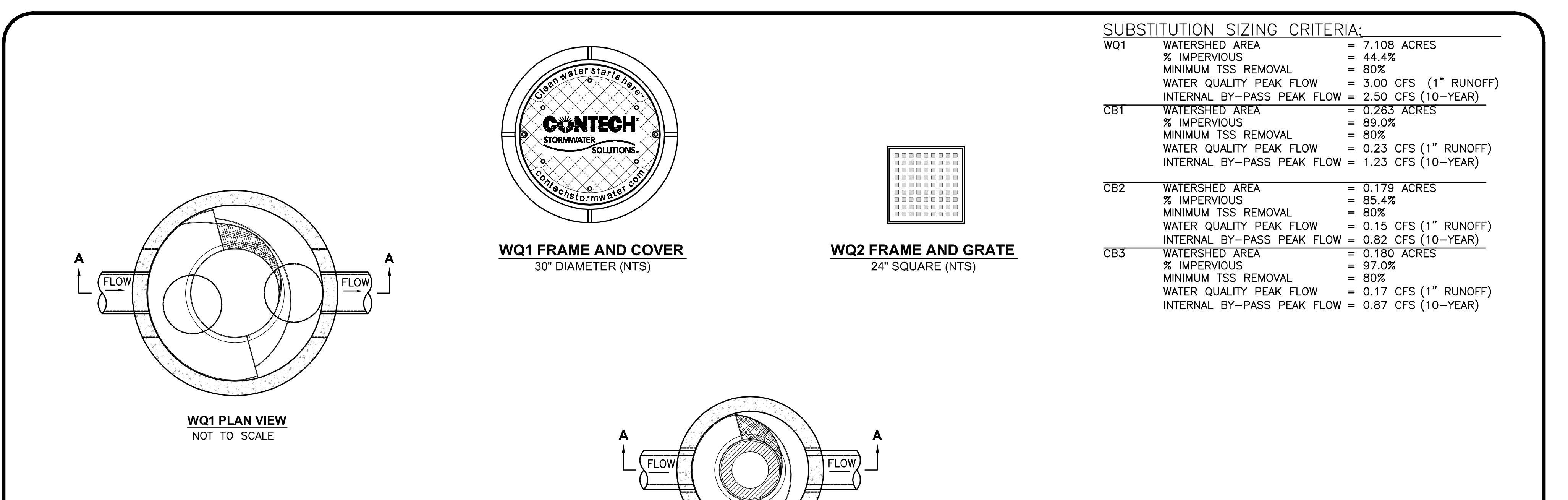
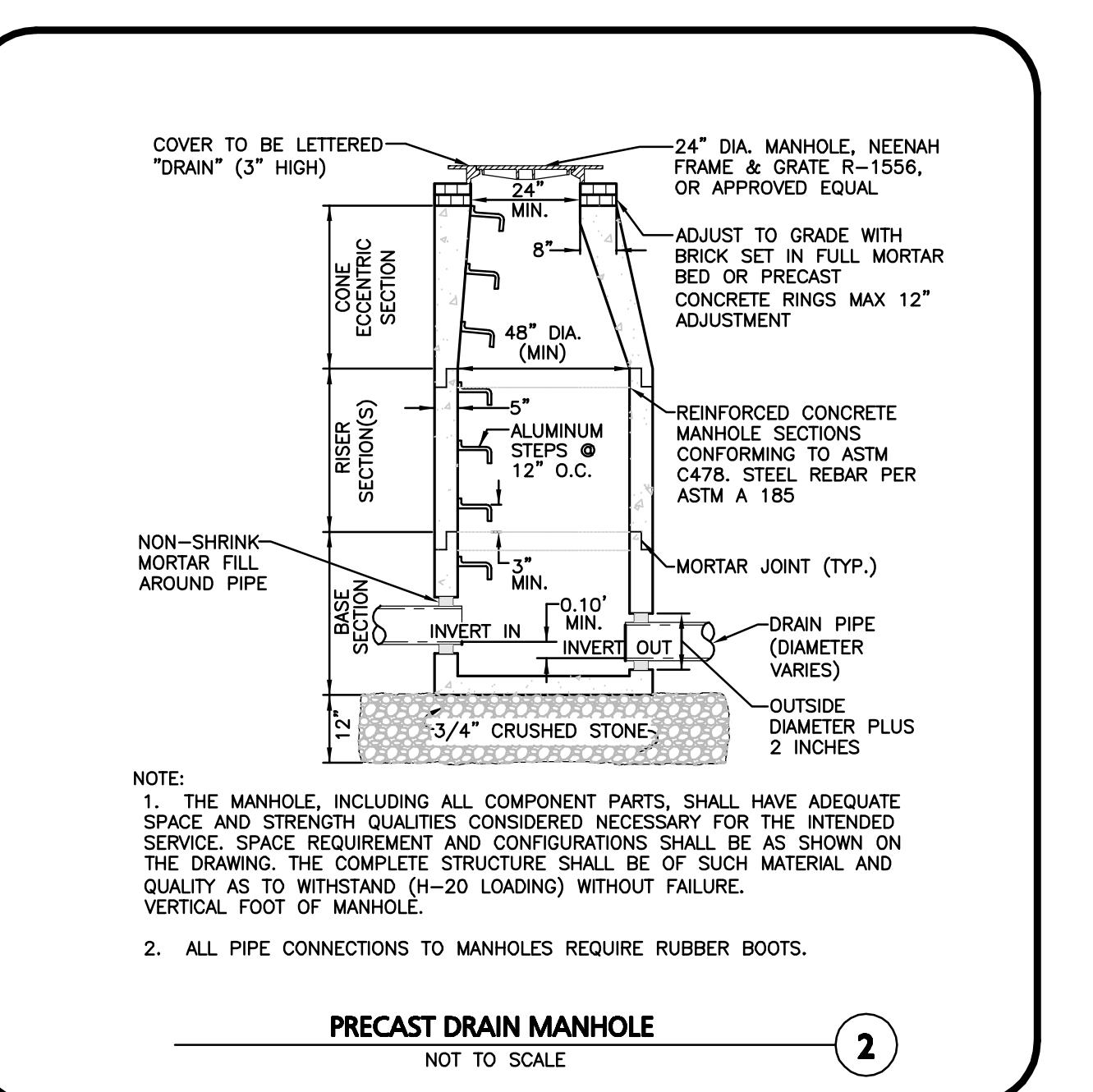
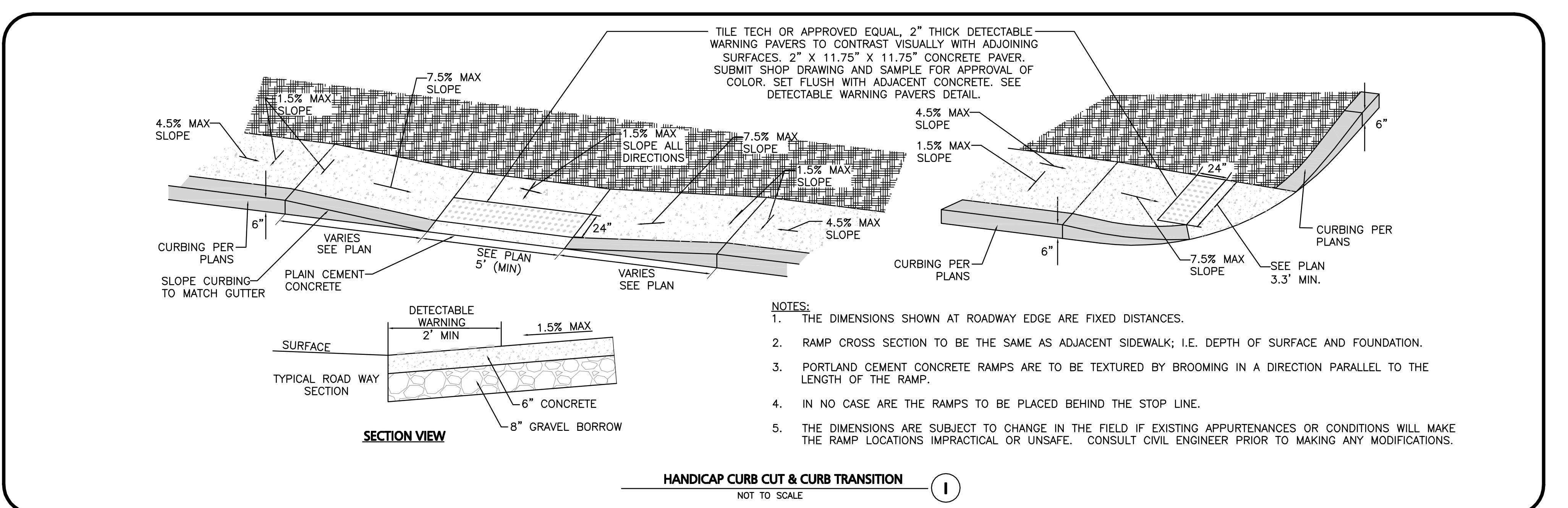
8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

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11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

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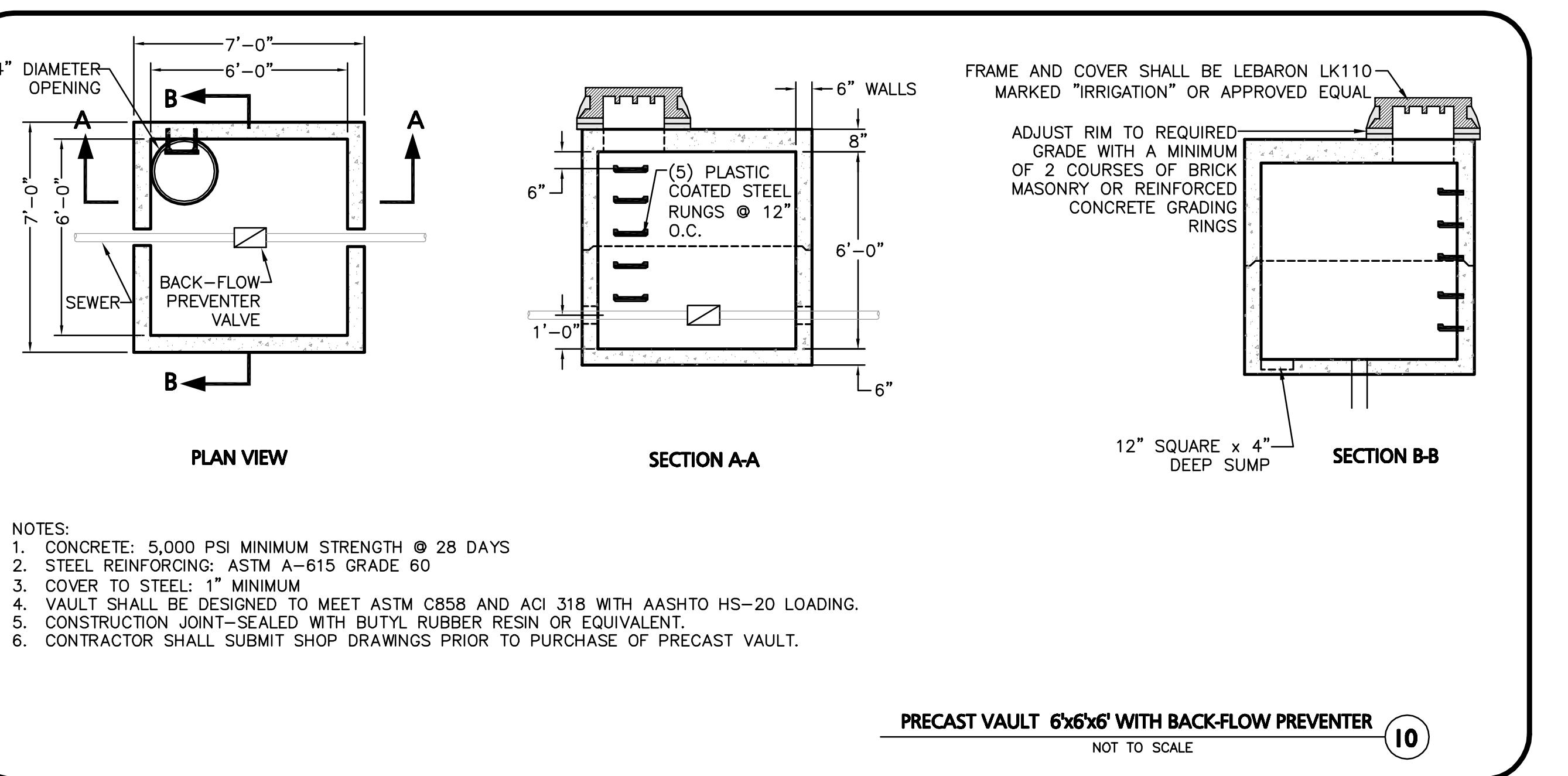
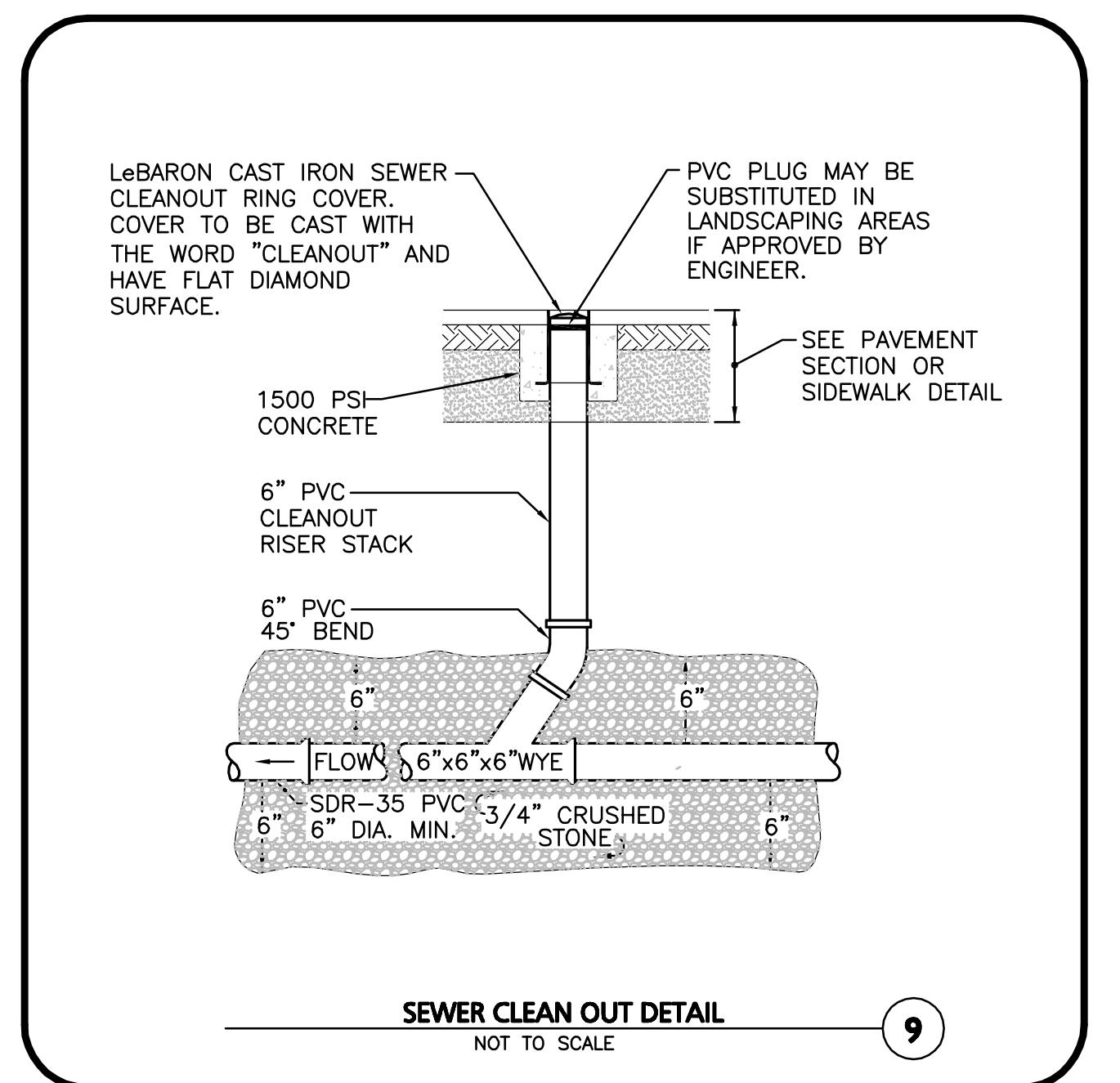
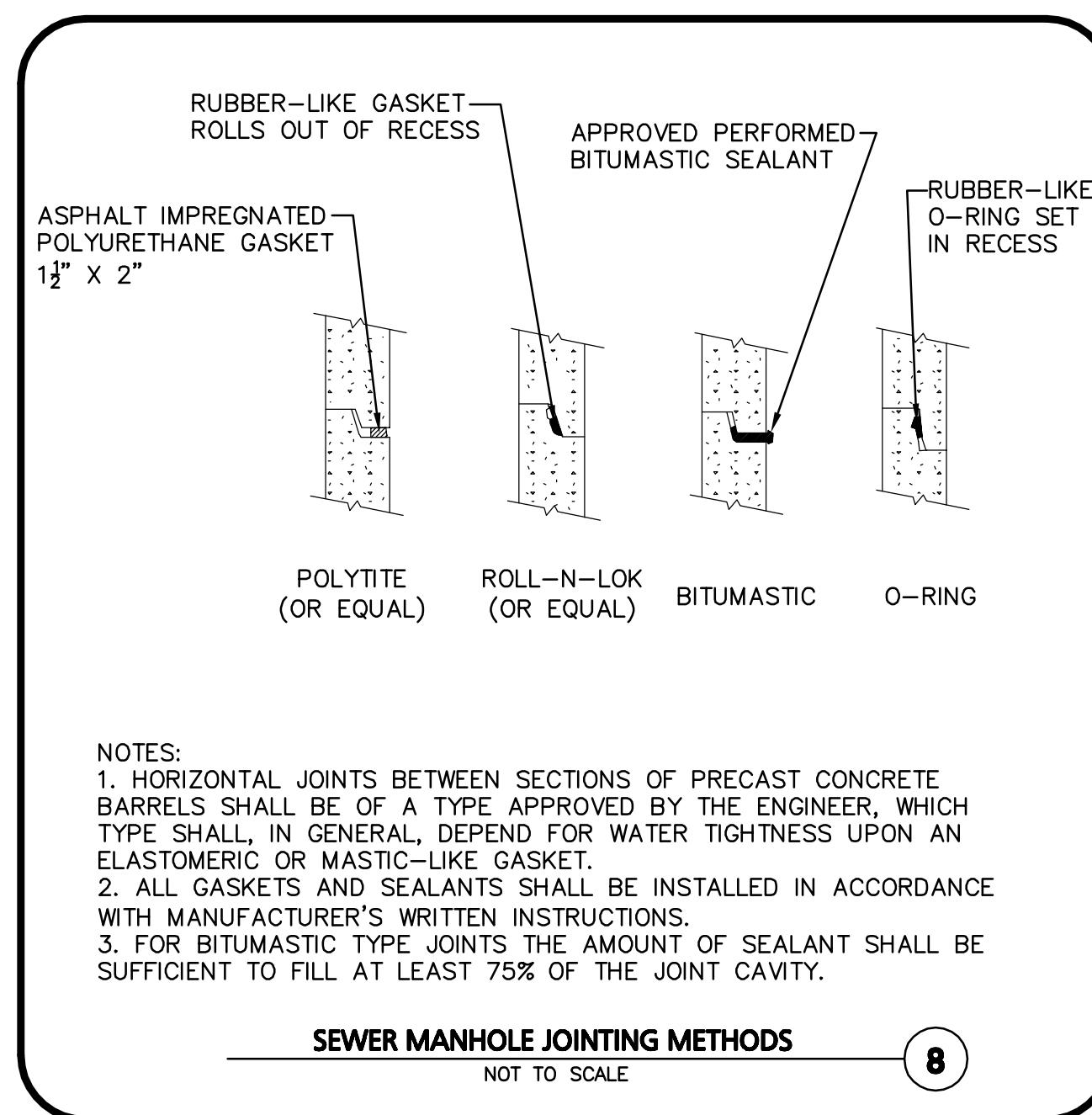
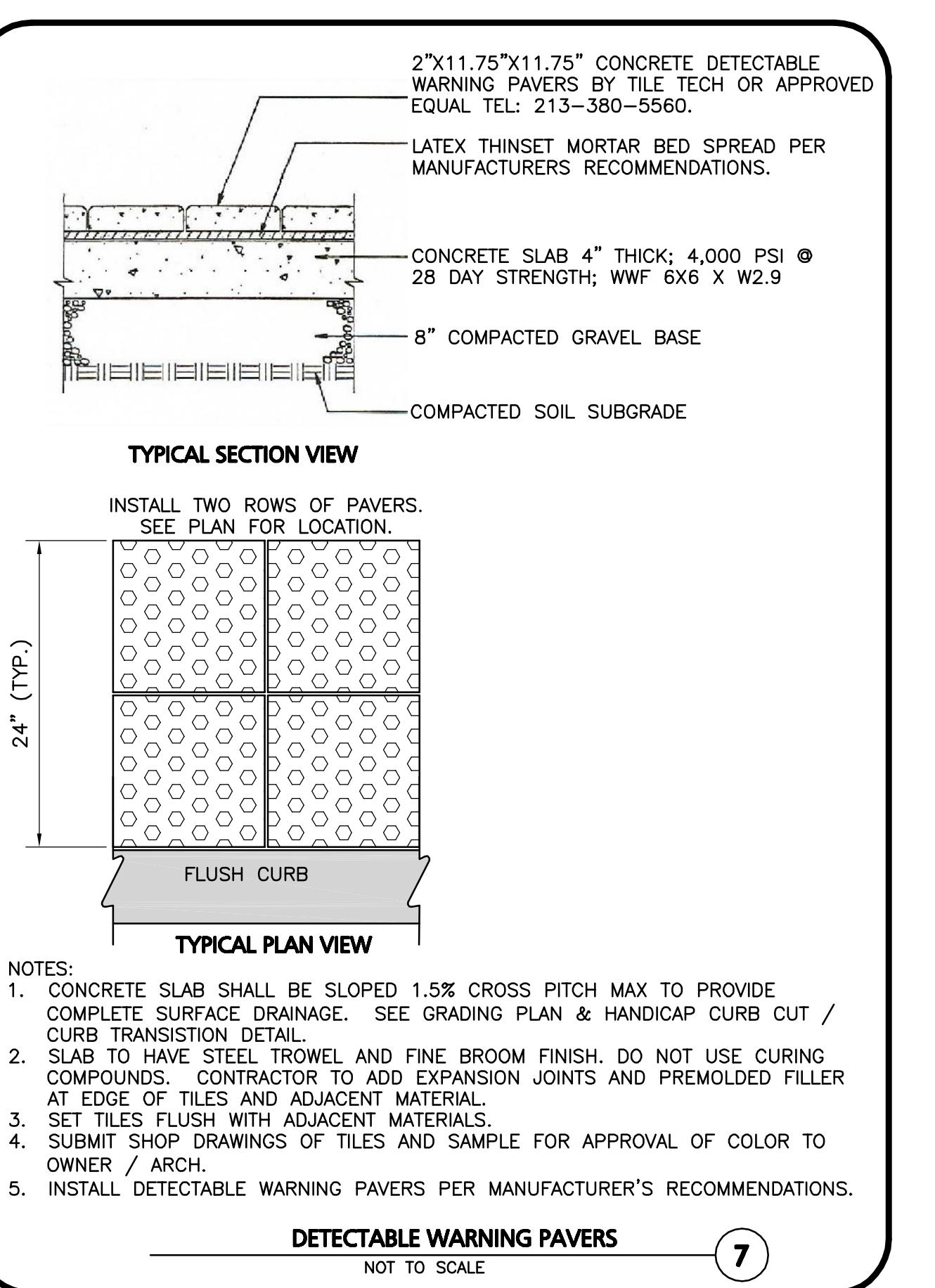
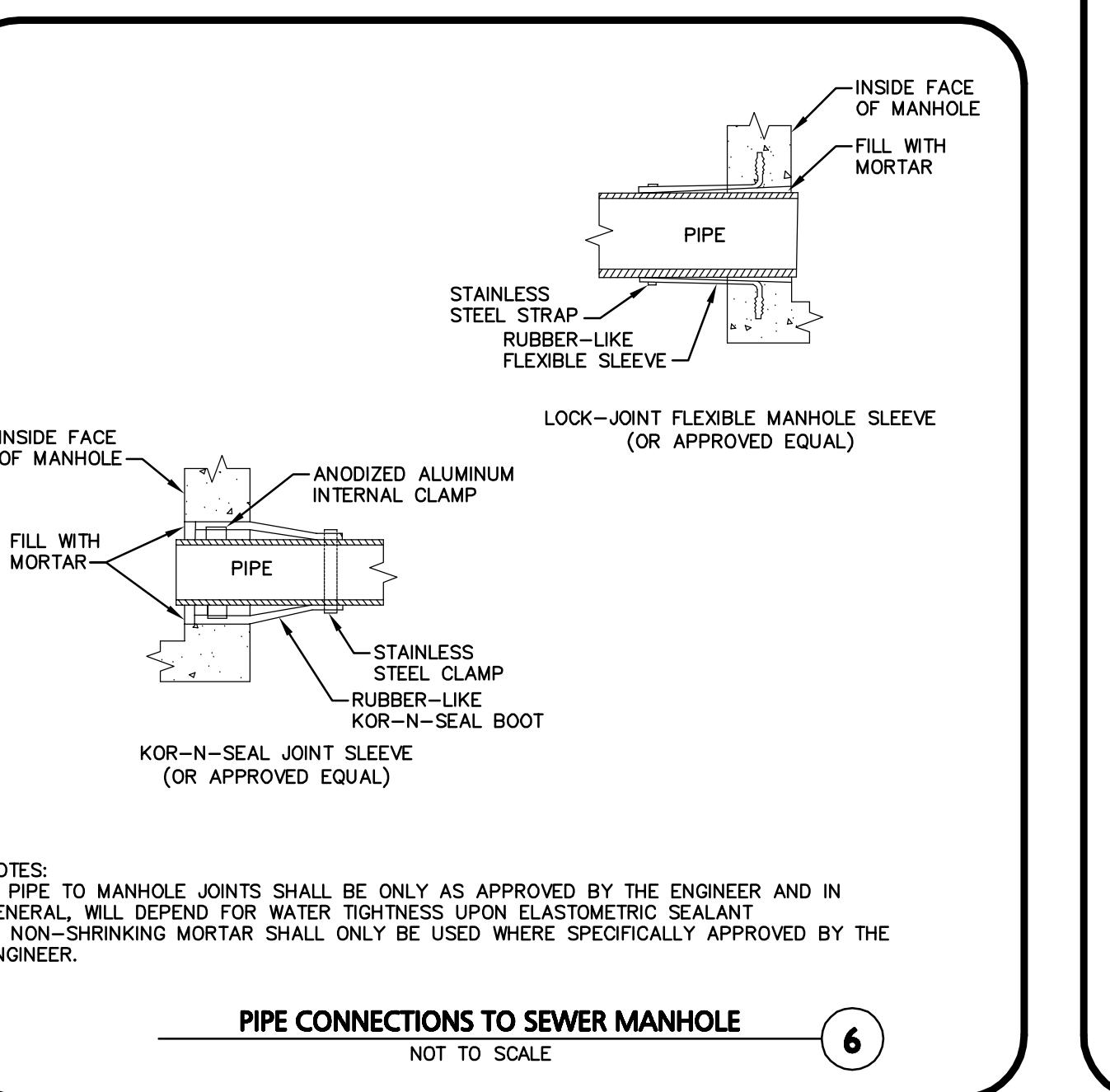
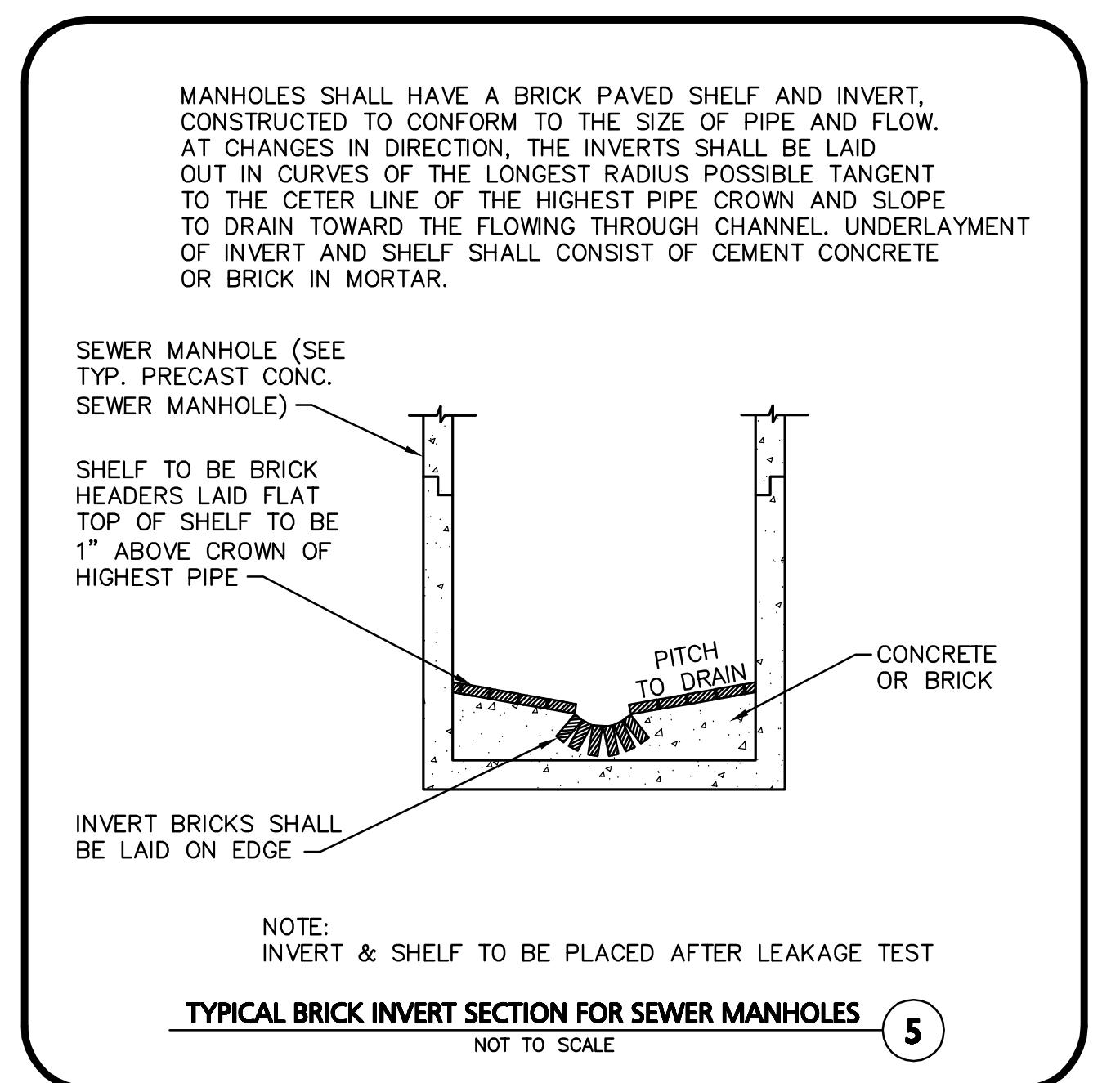
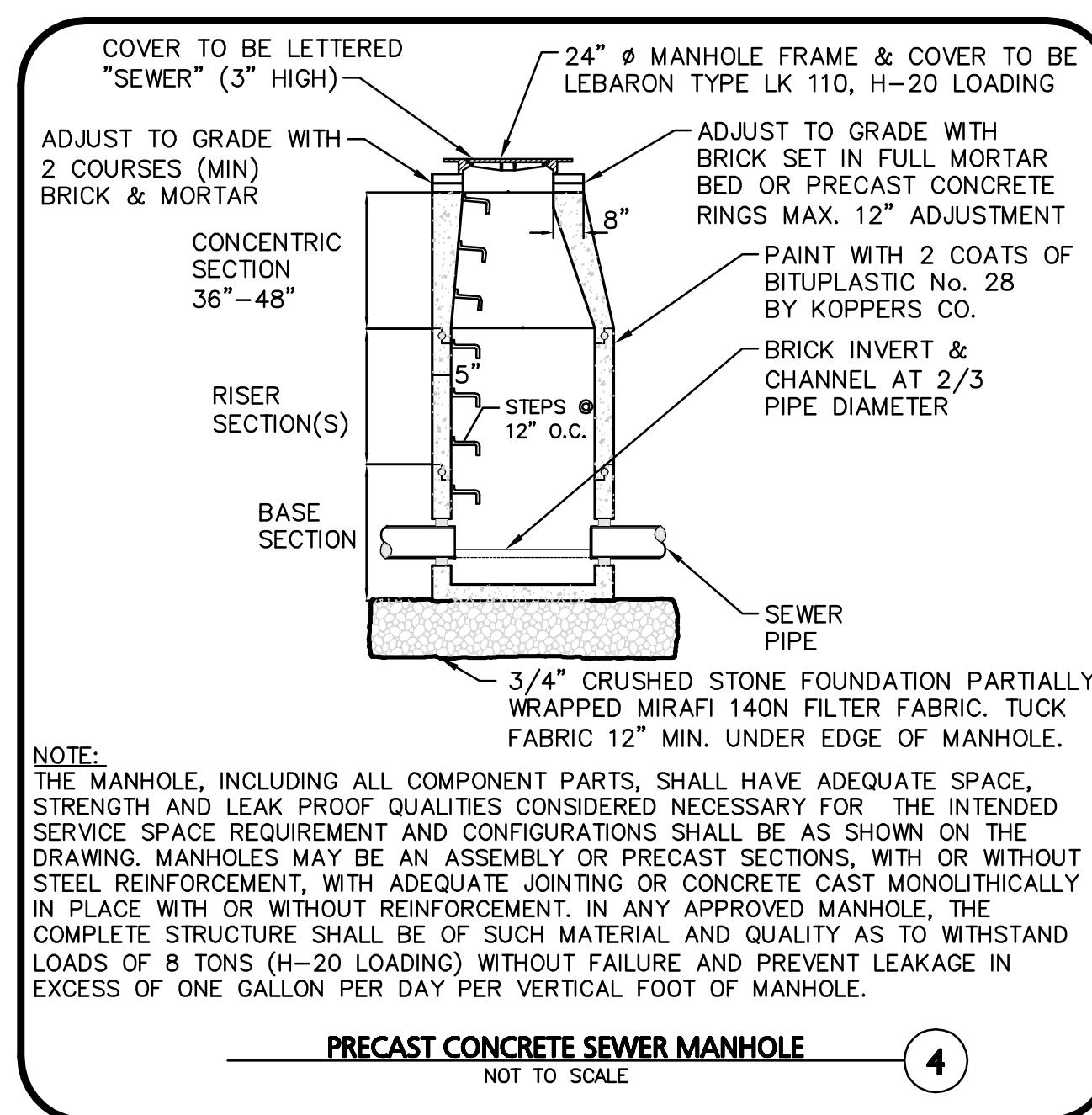
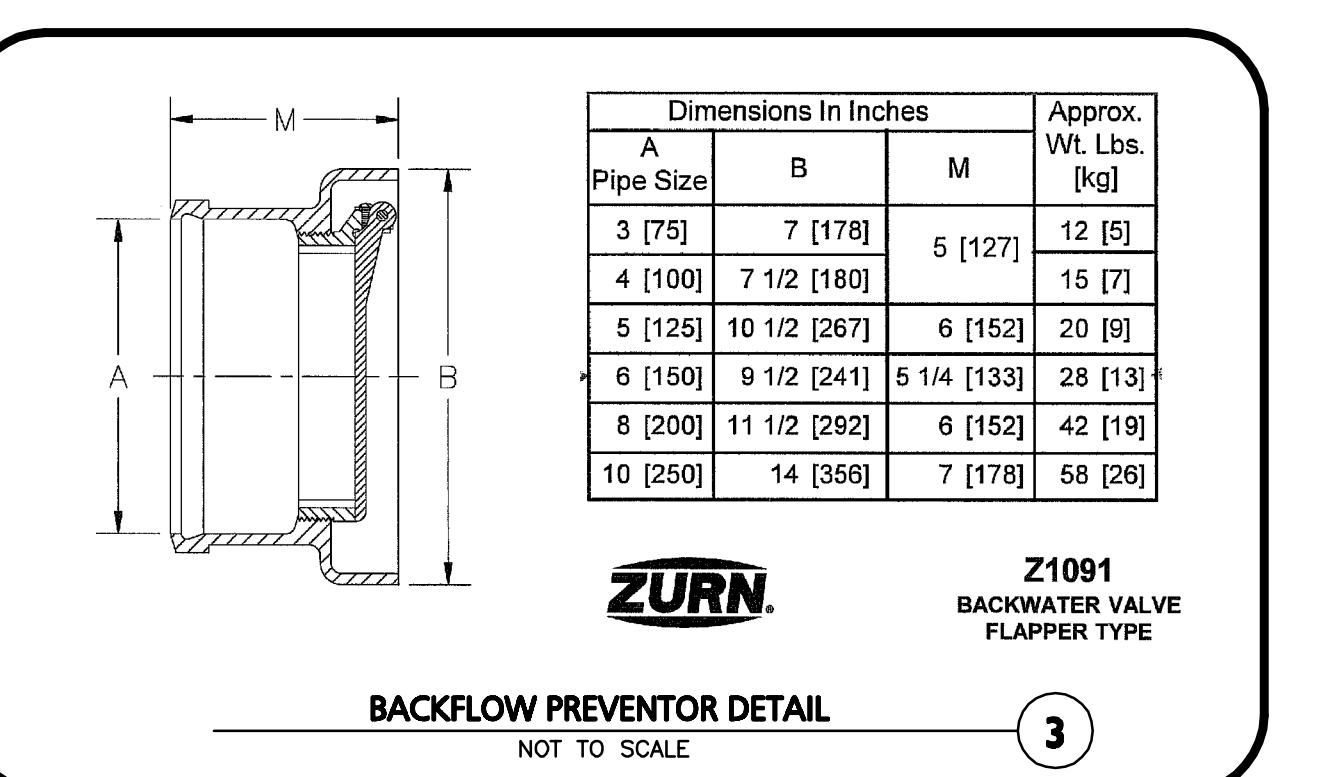
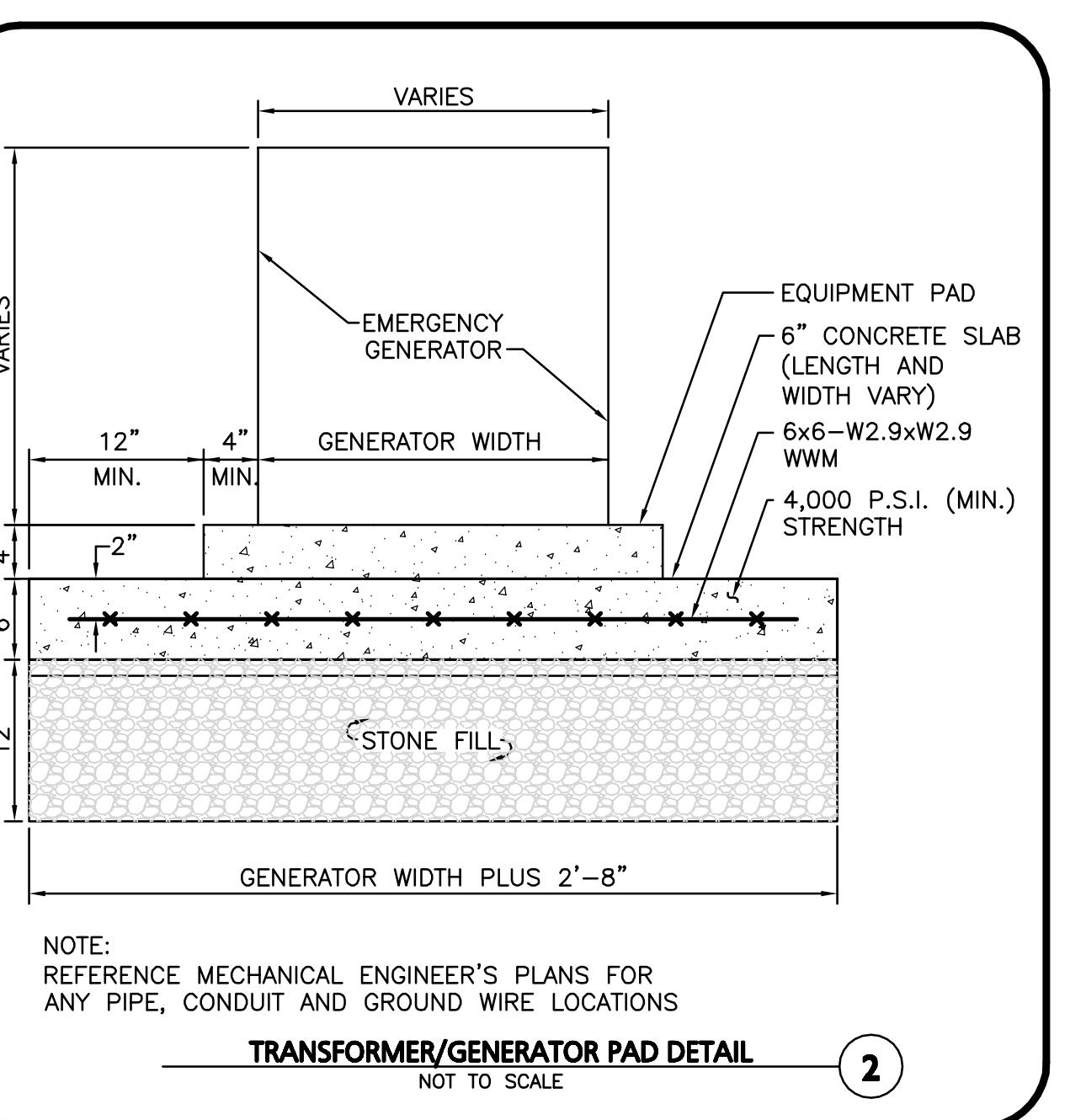
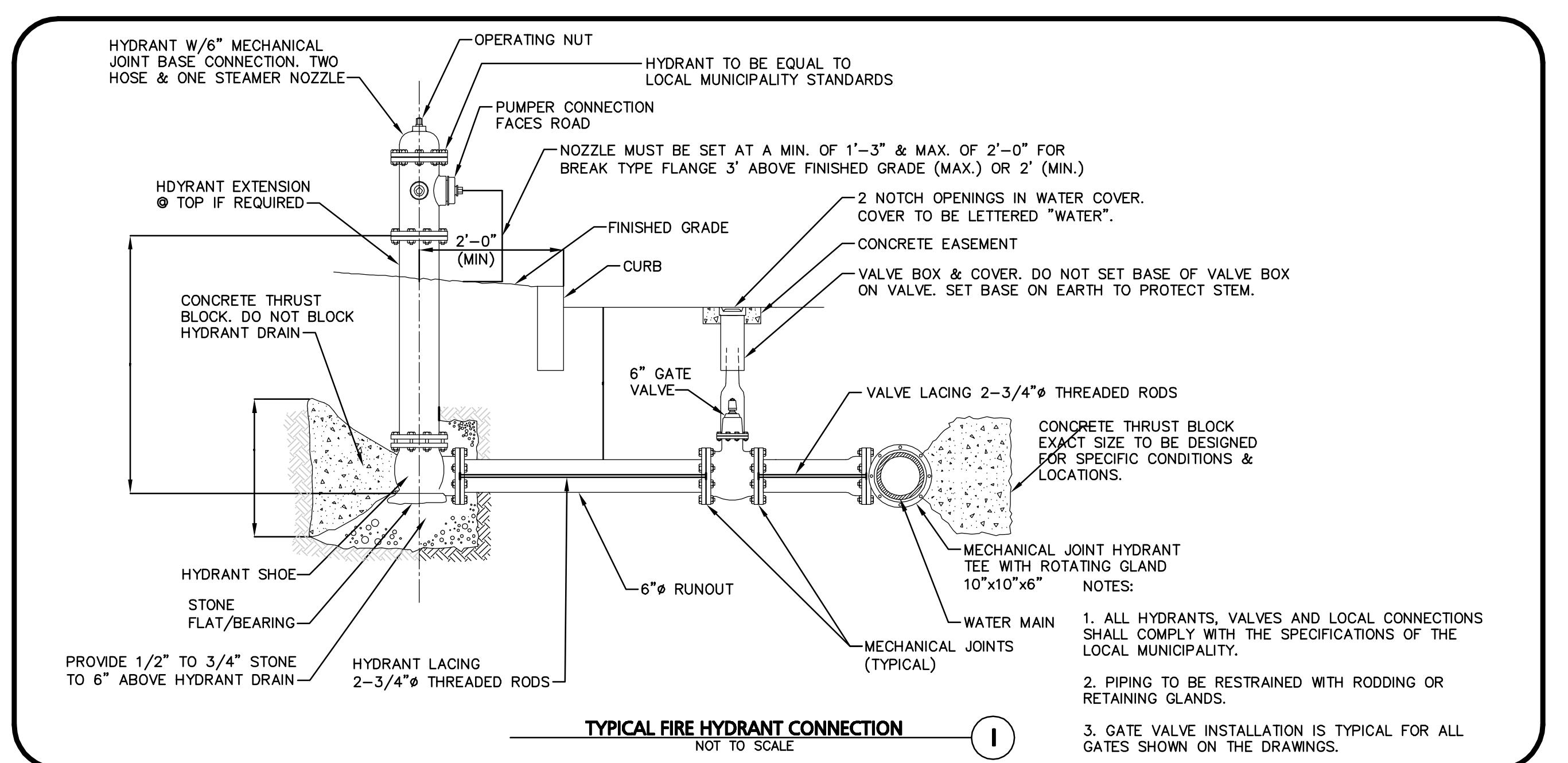
SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

Details

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APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BY-LAW HAS BEEN GRANTED:

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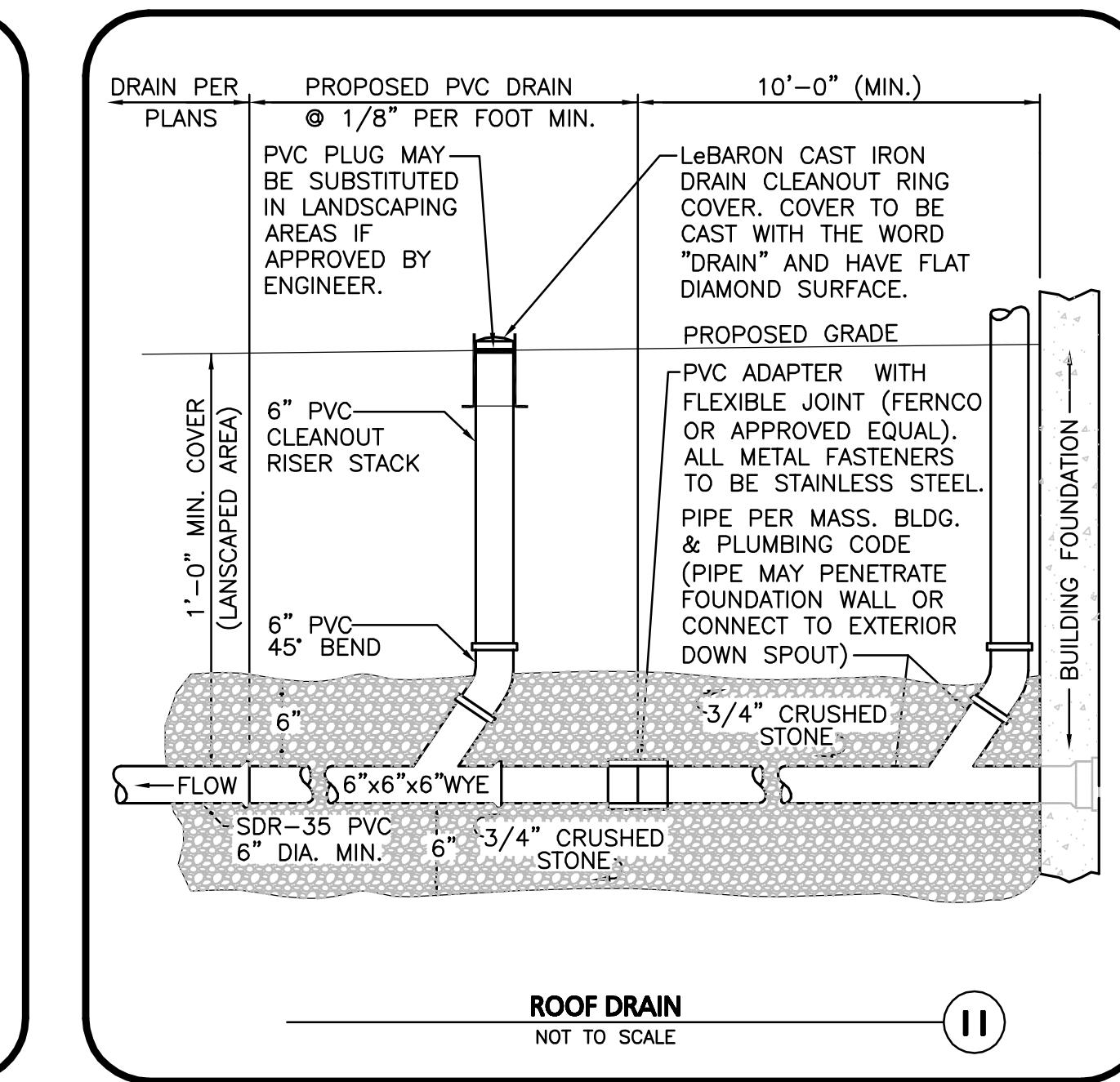
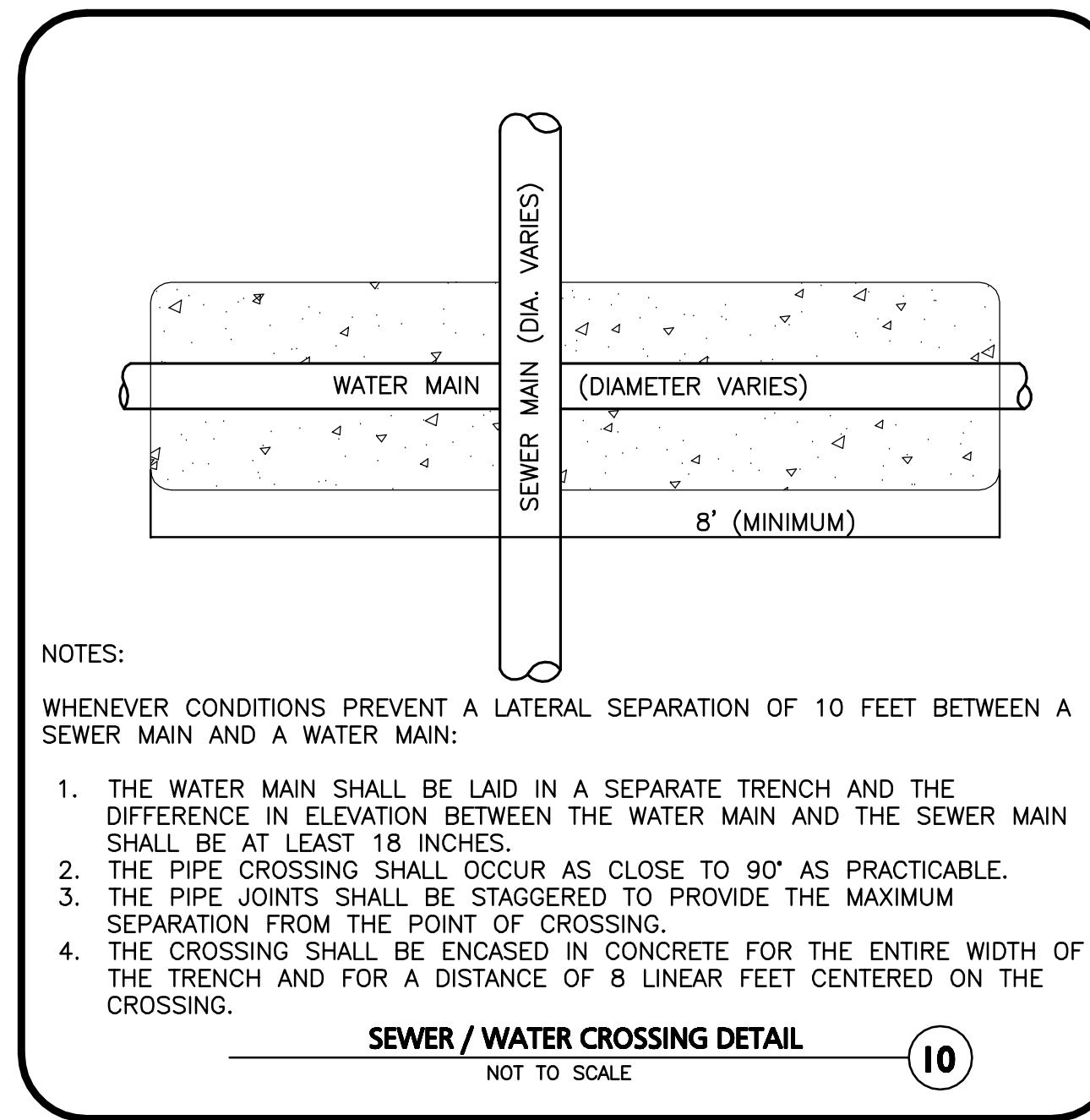
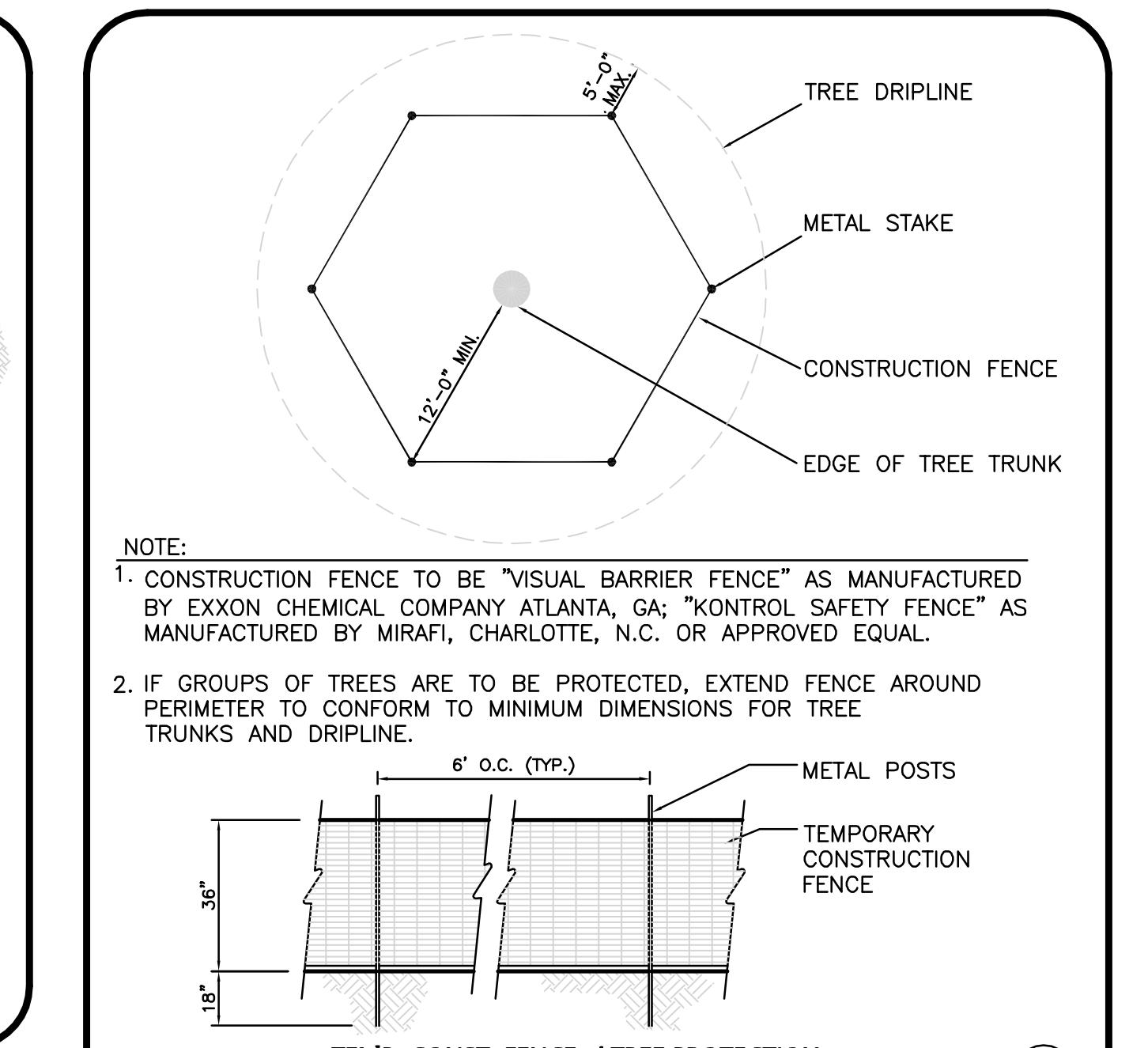
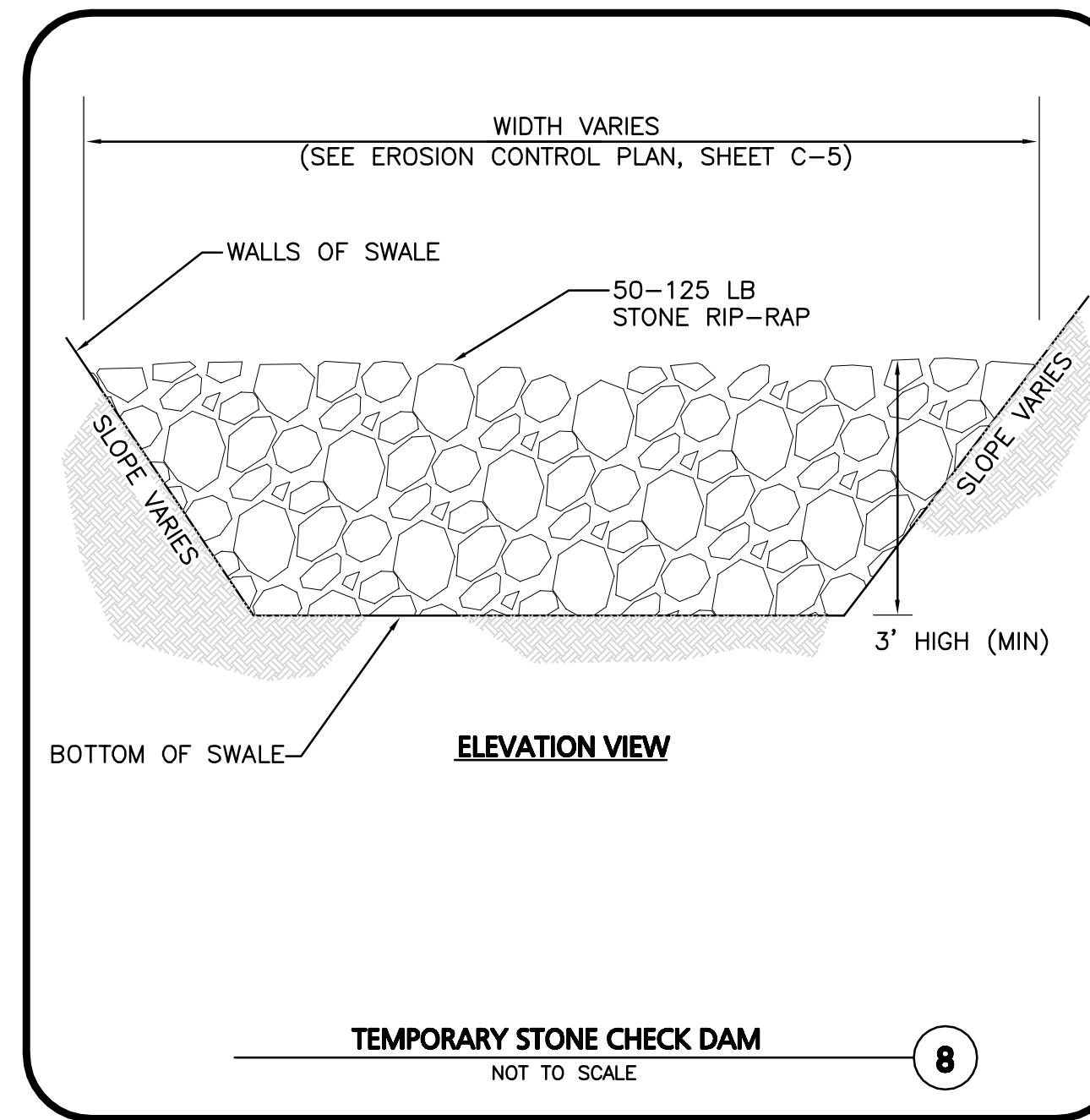
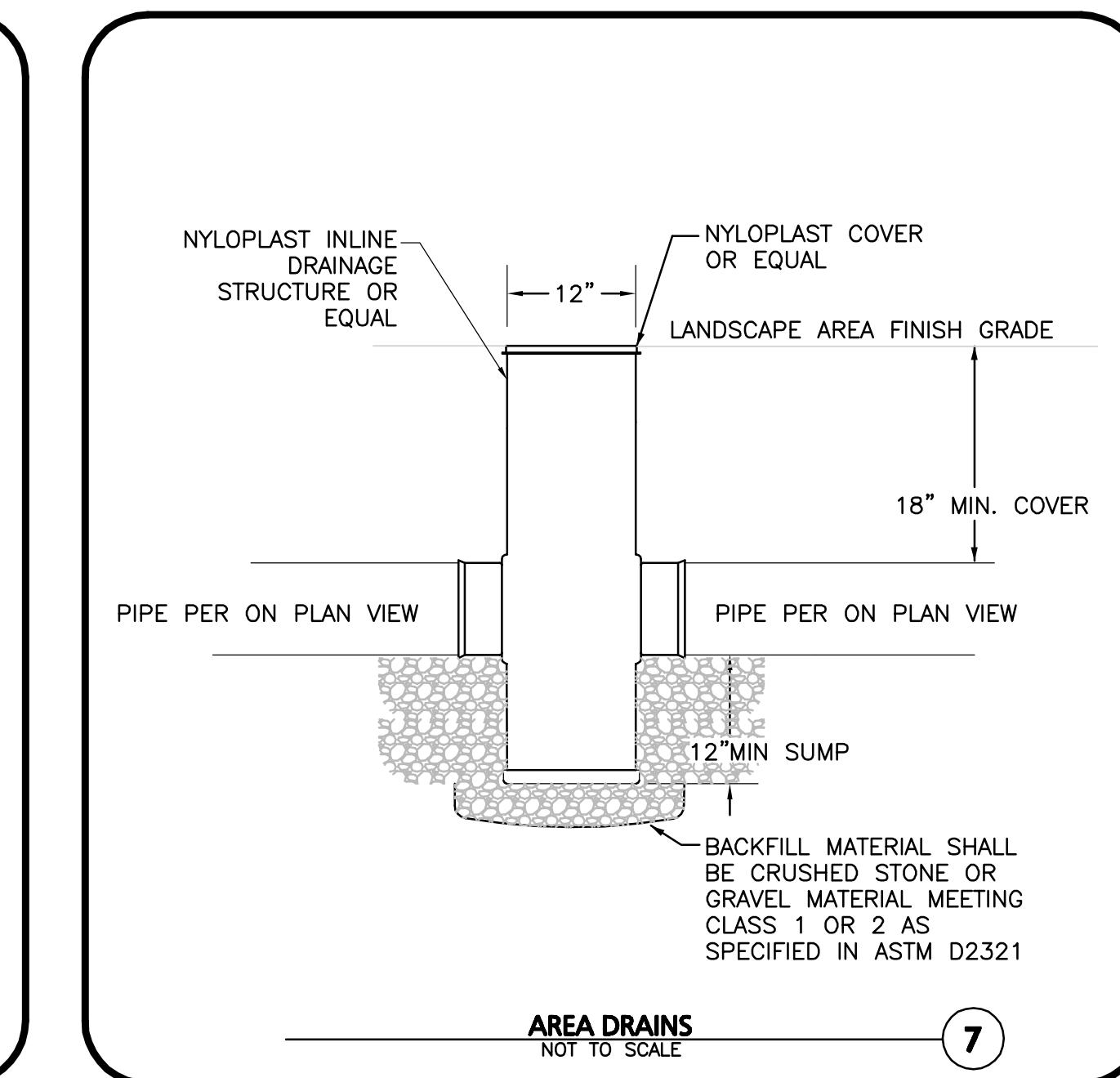
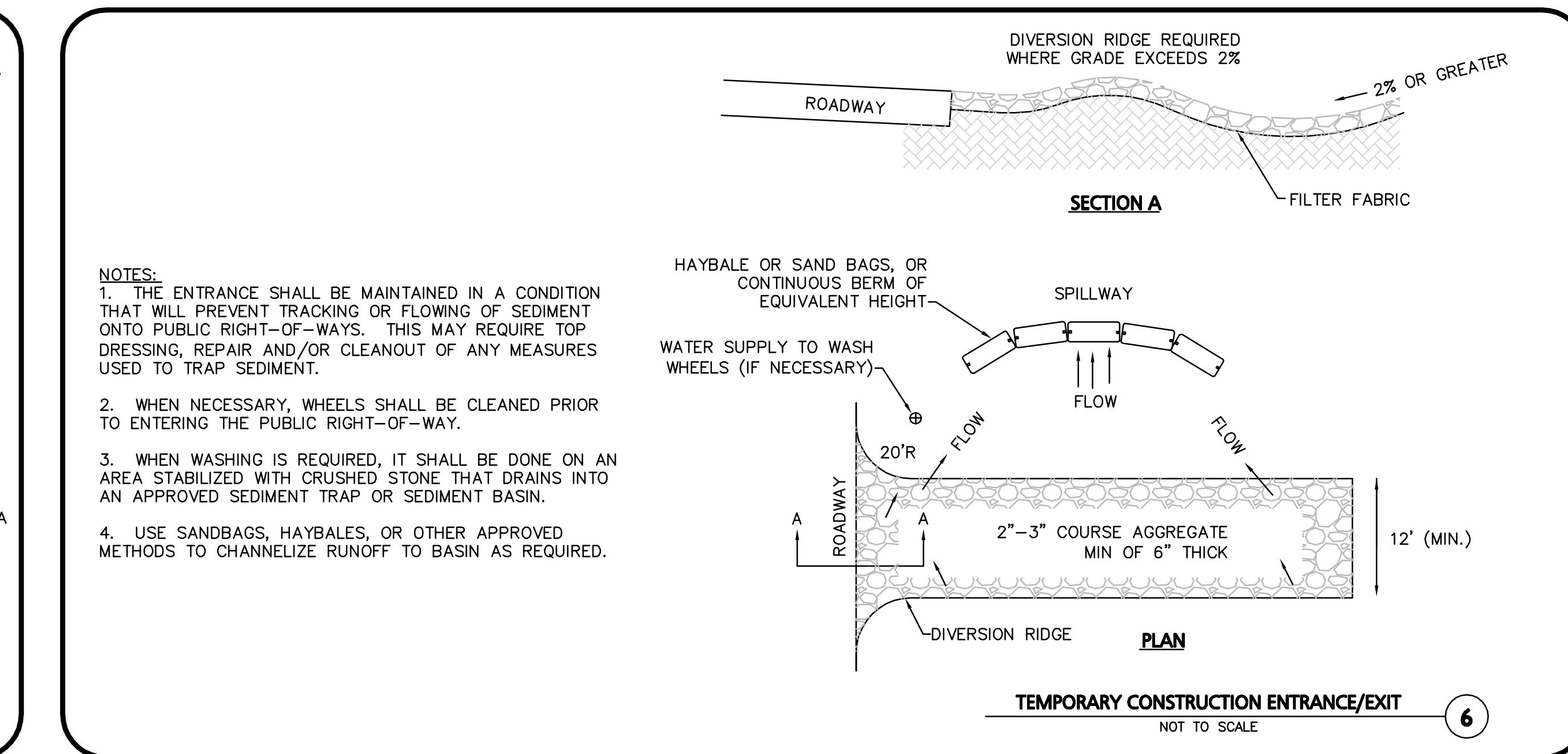
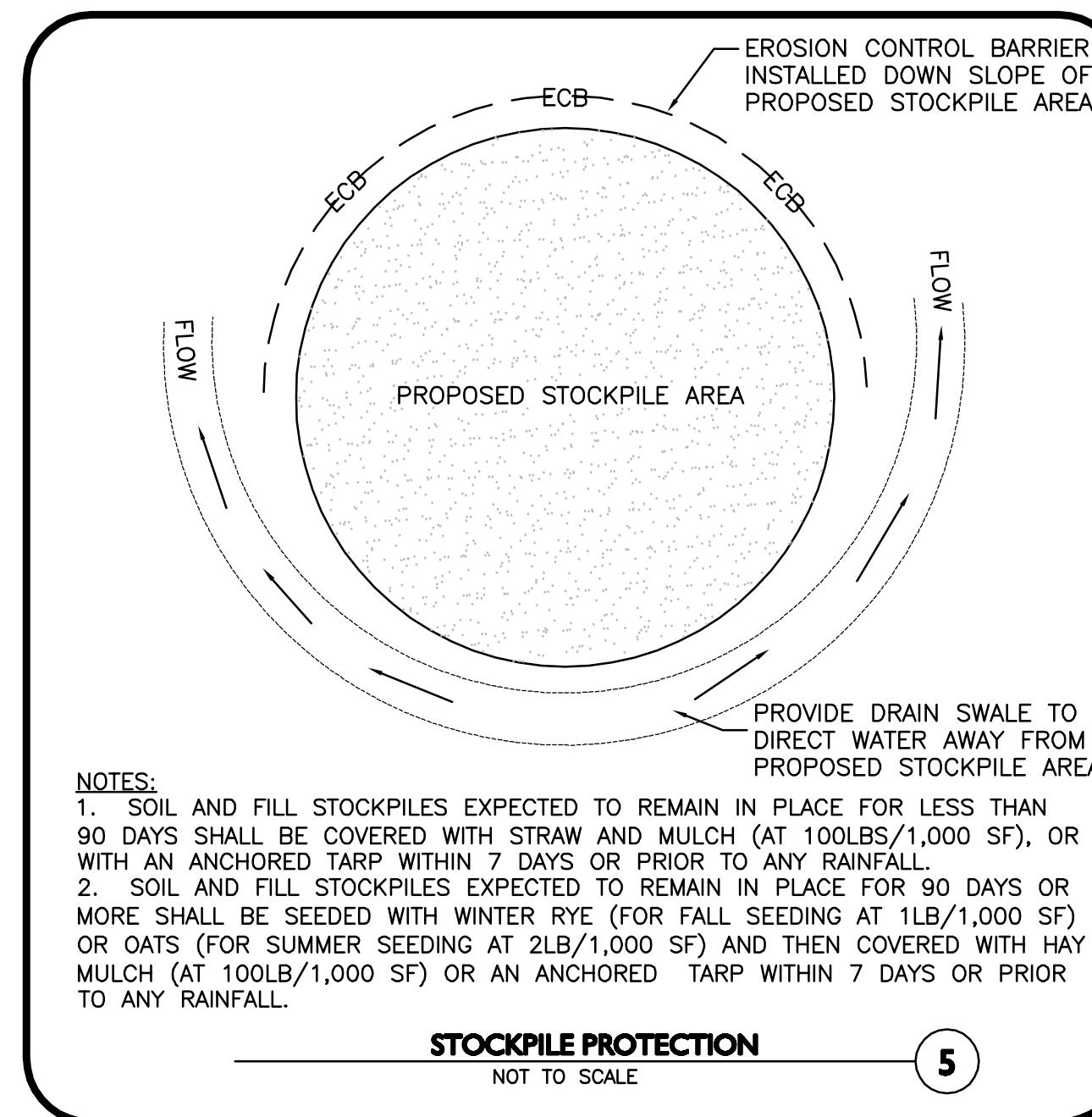
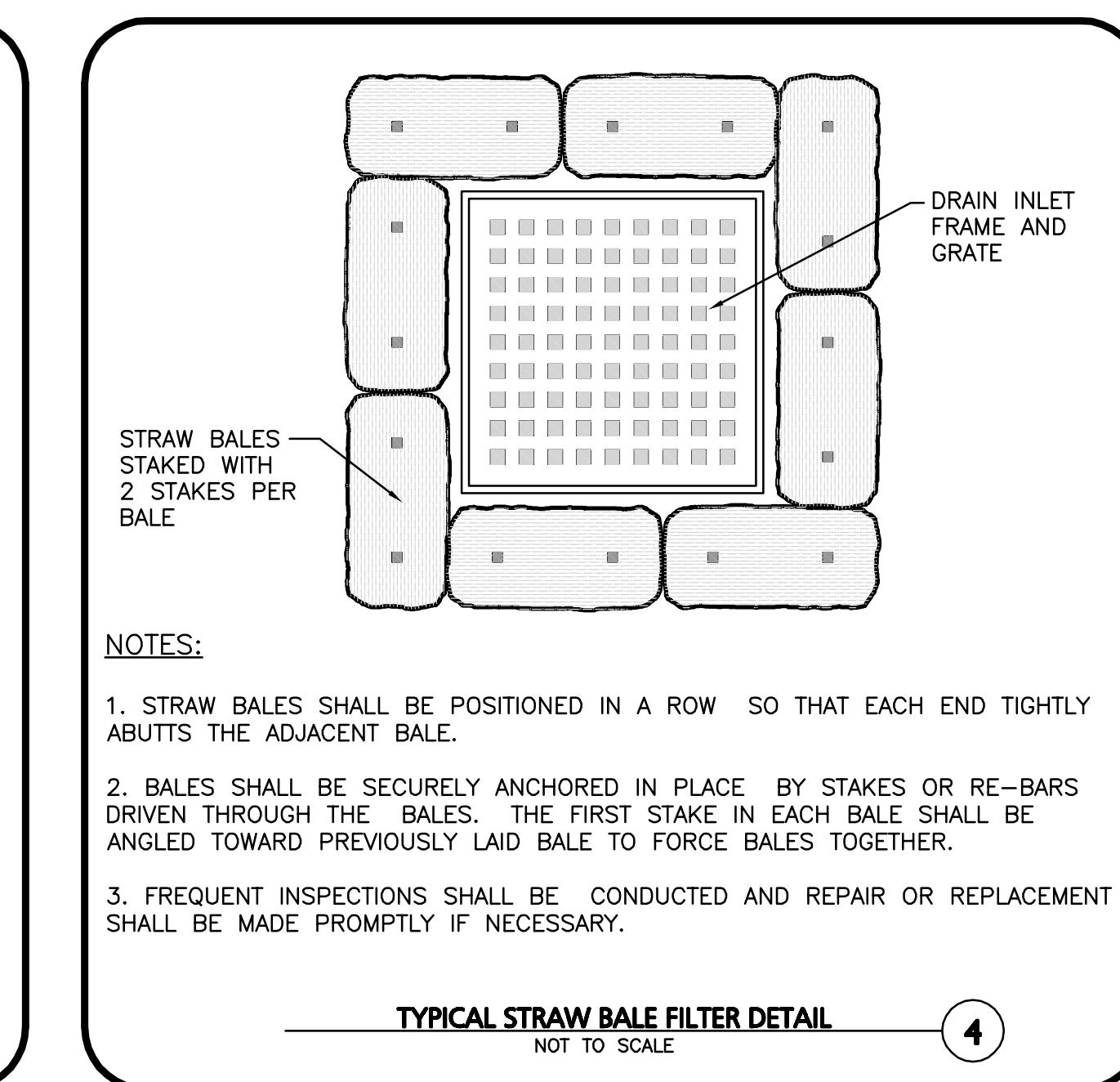
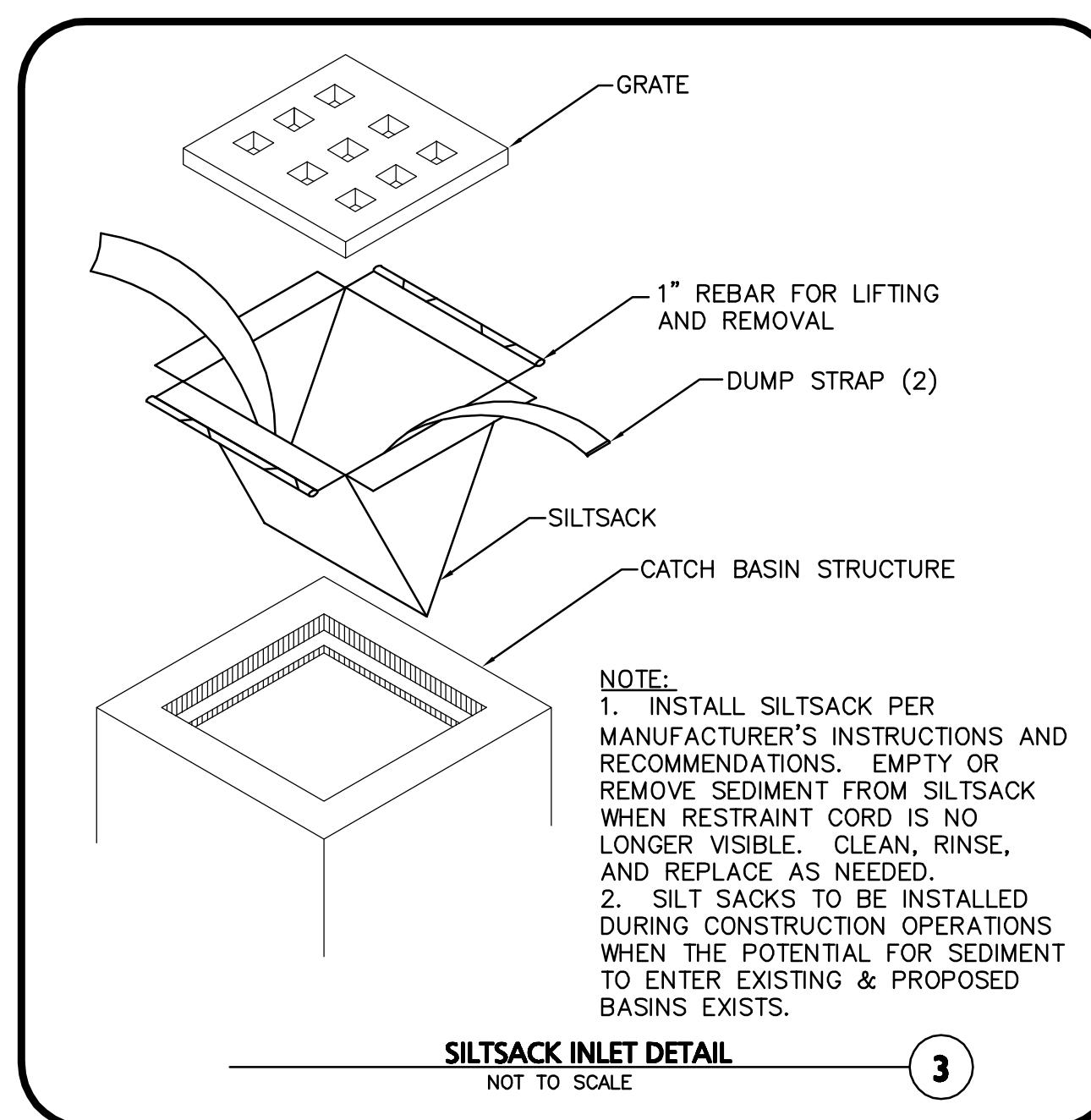
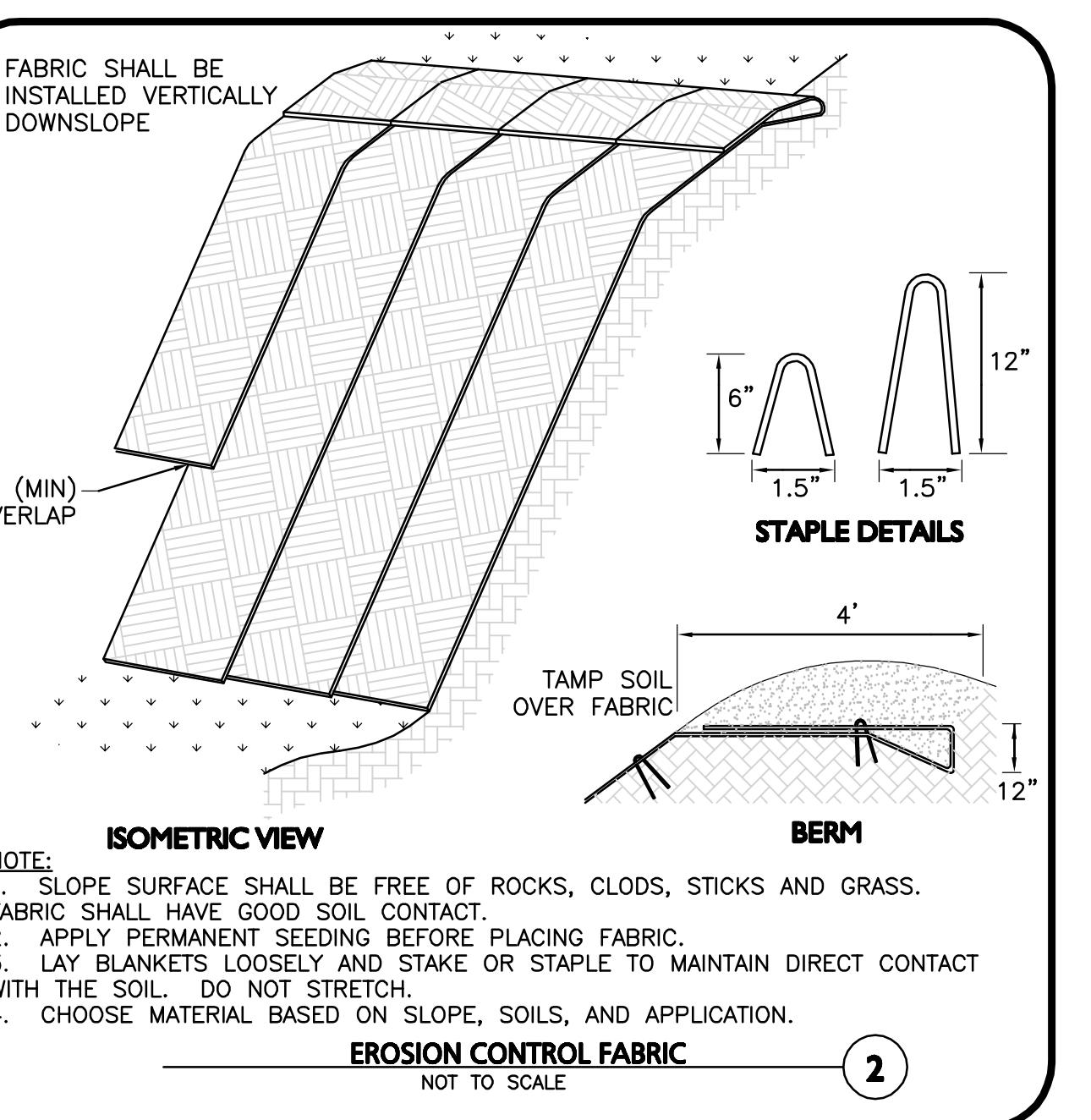
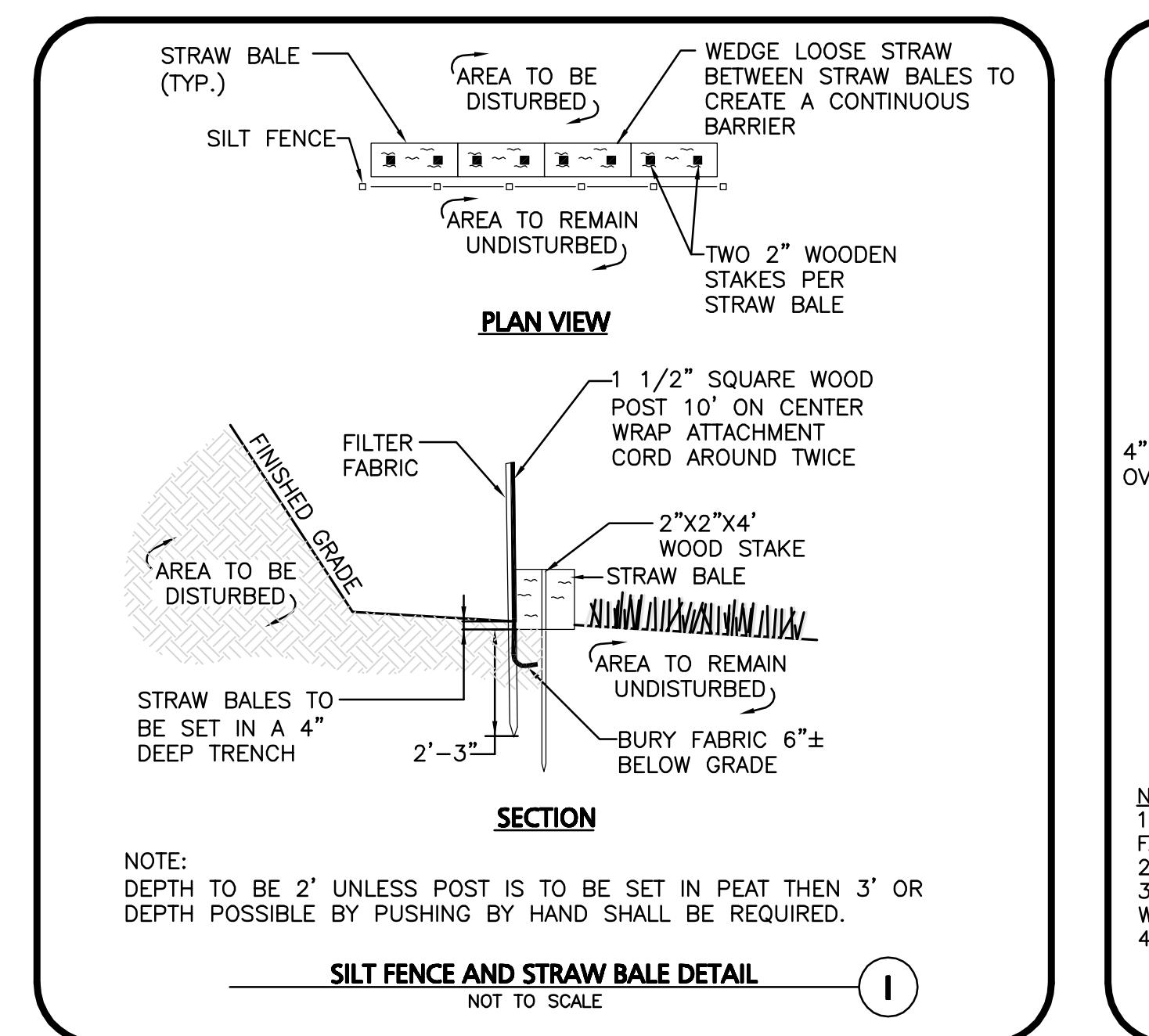
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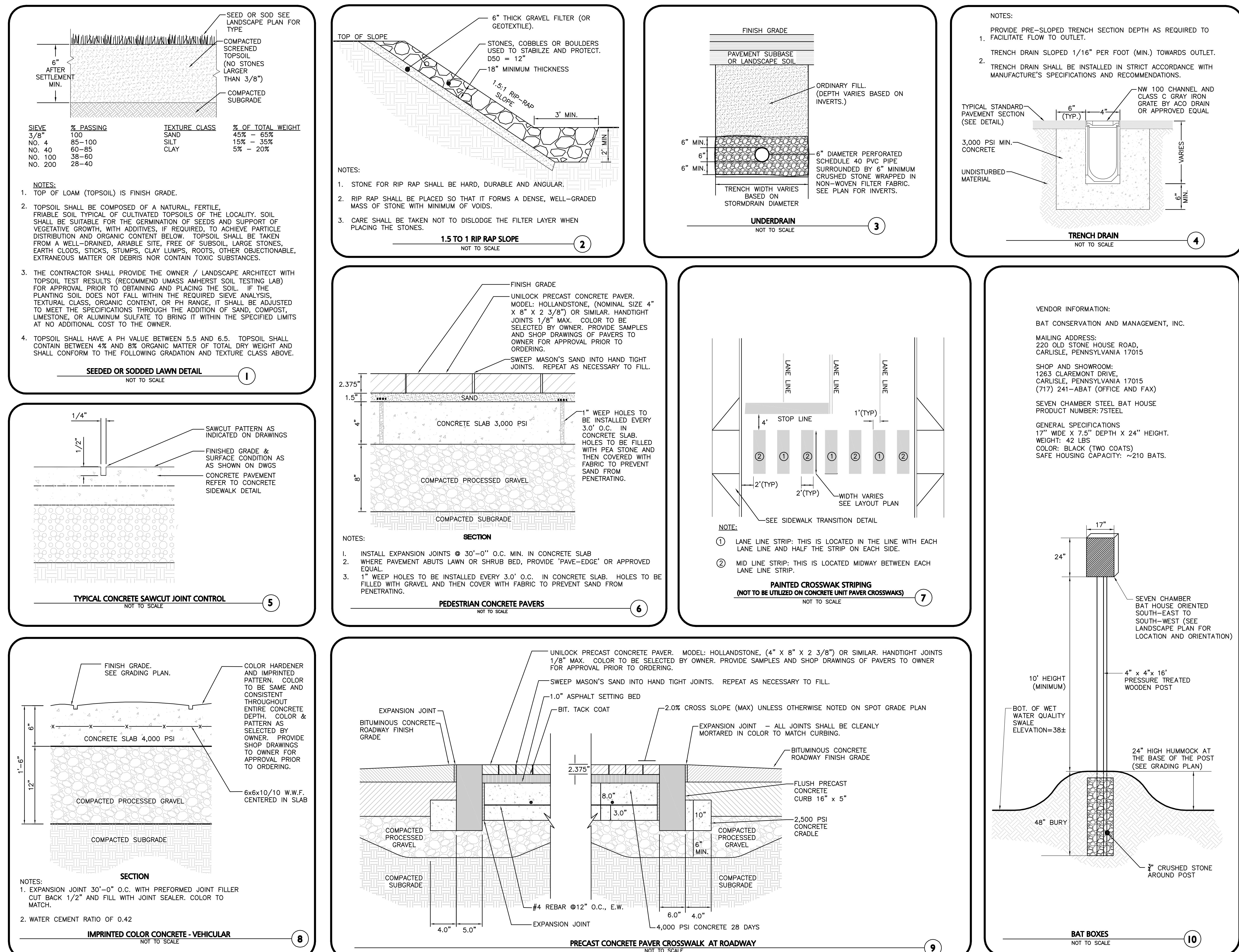
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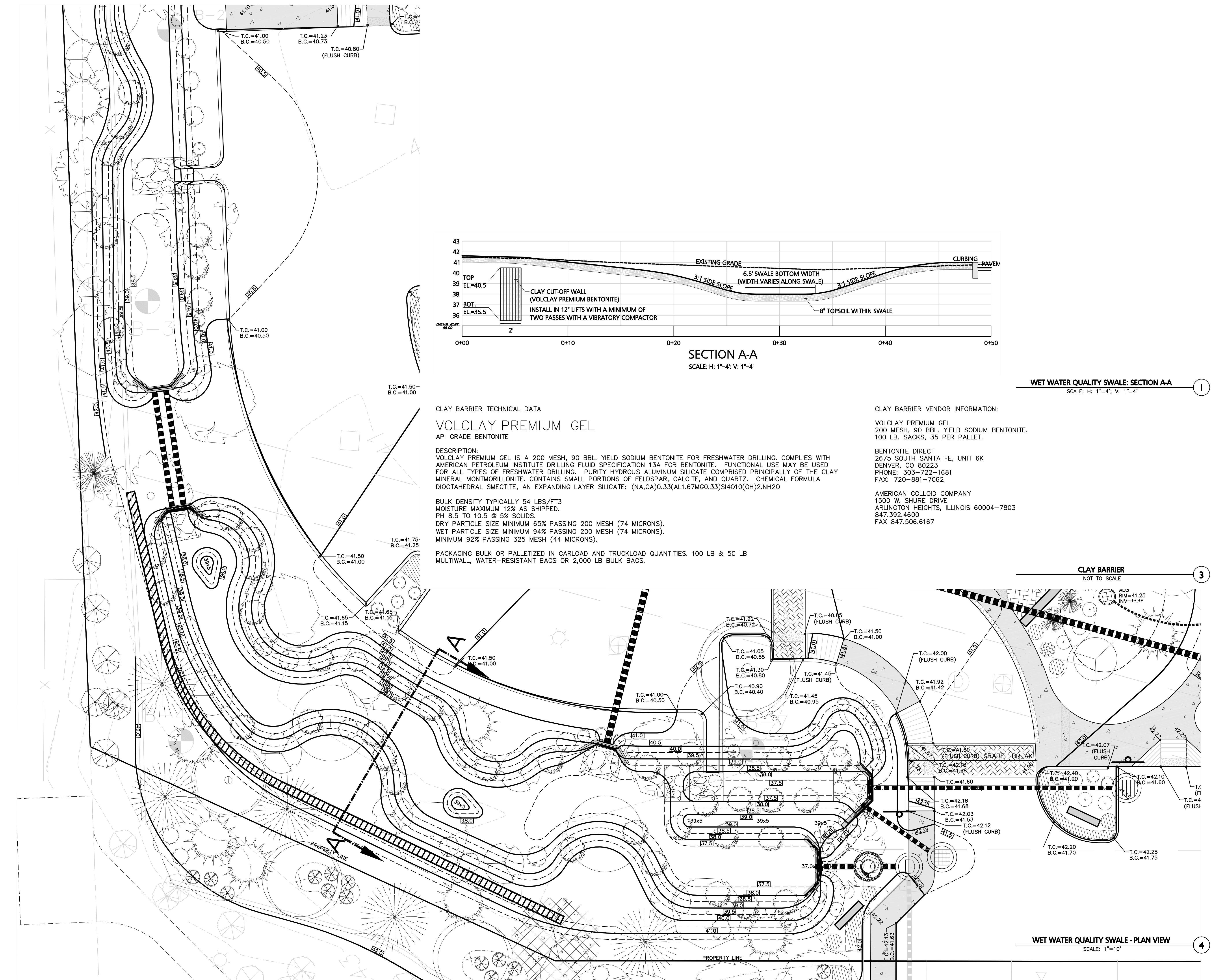
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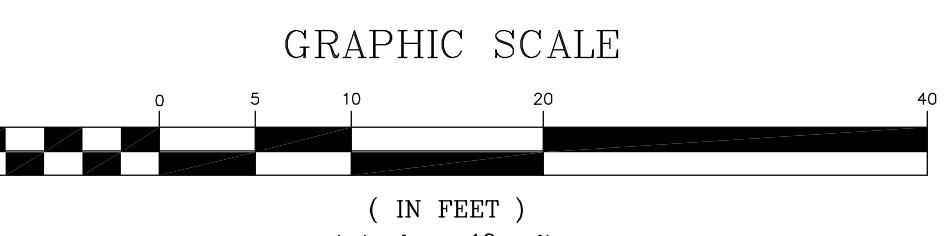
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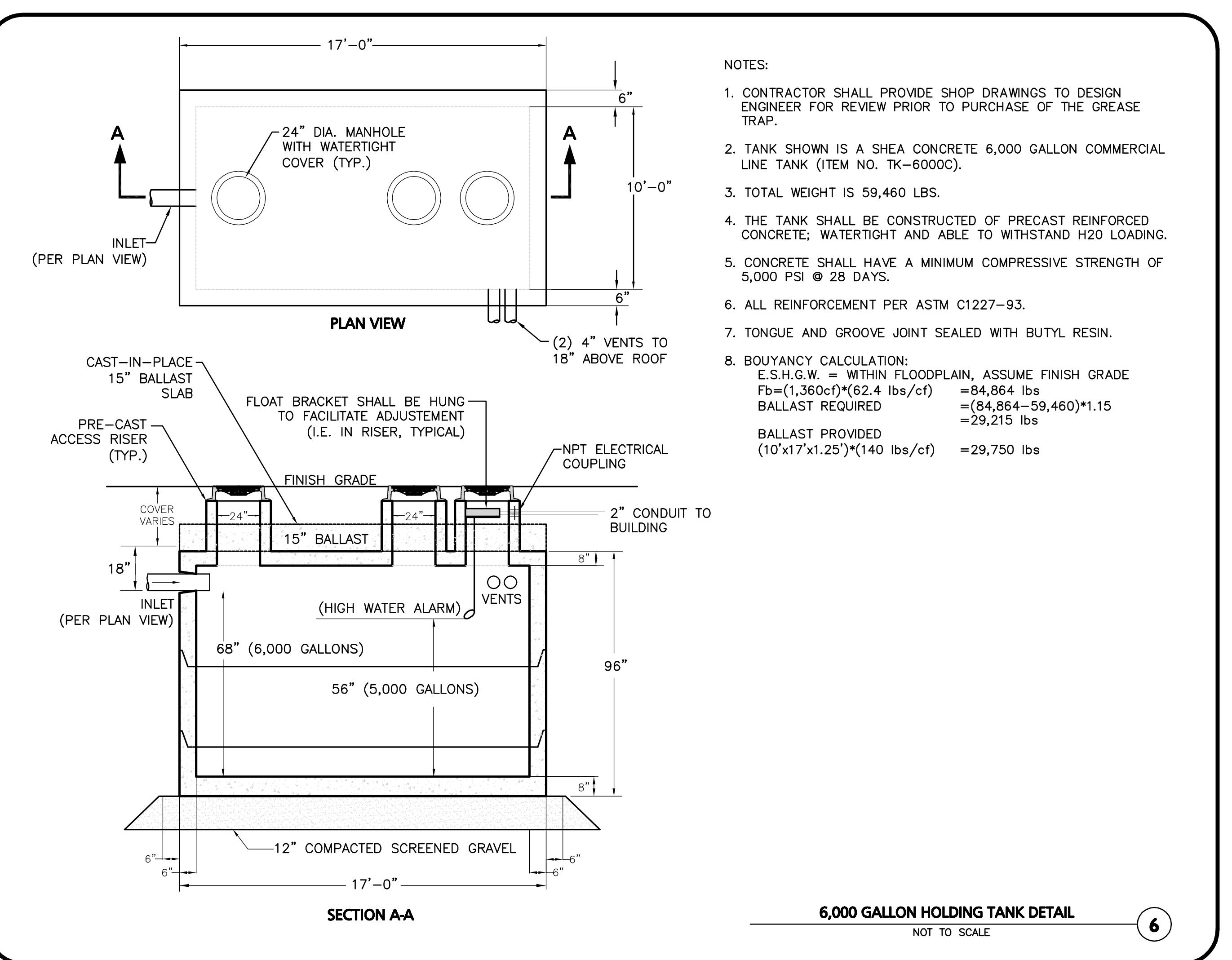
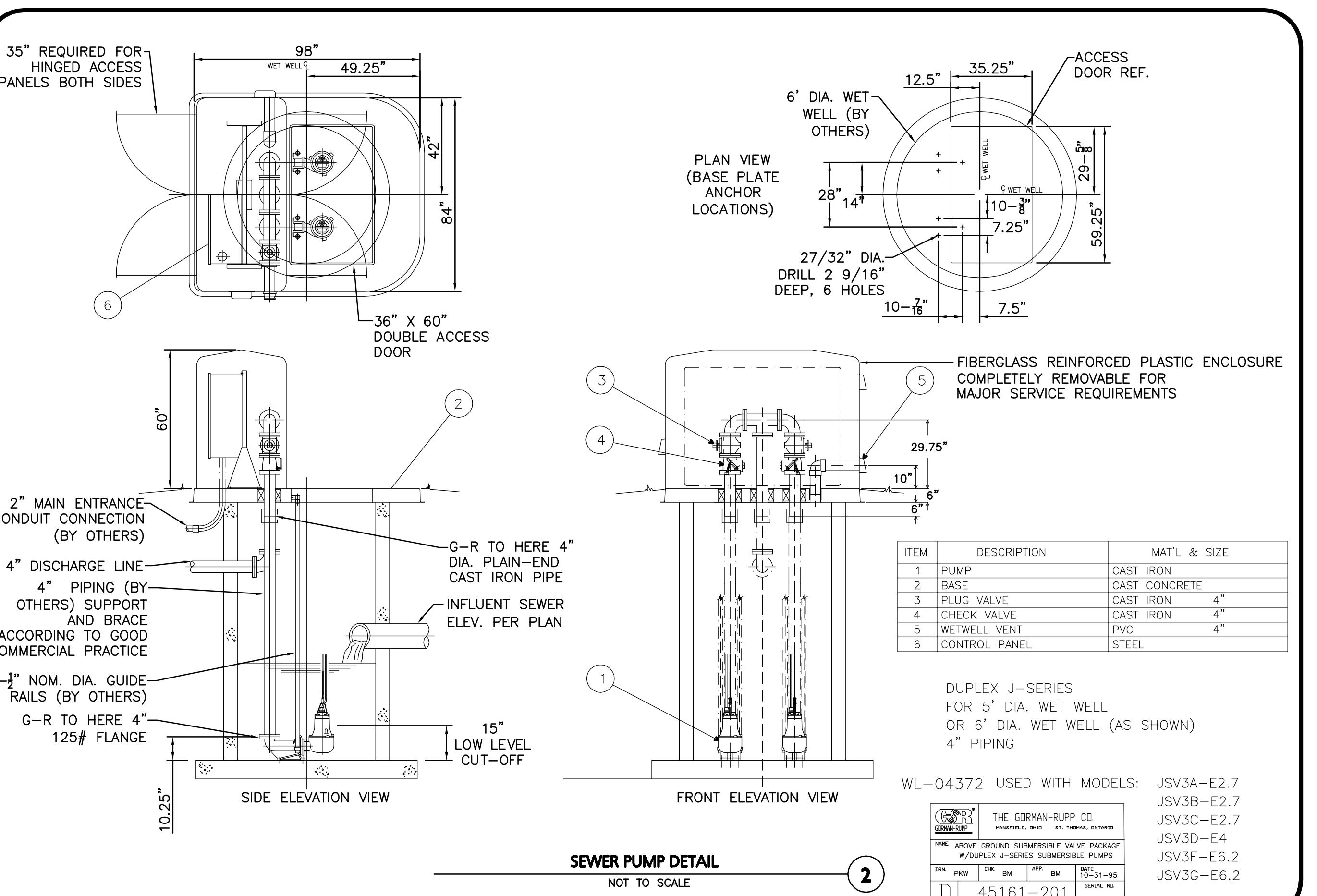
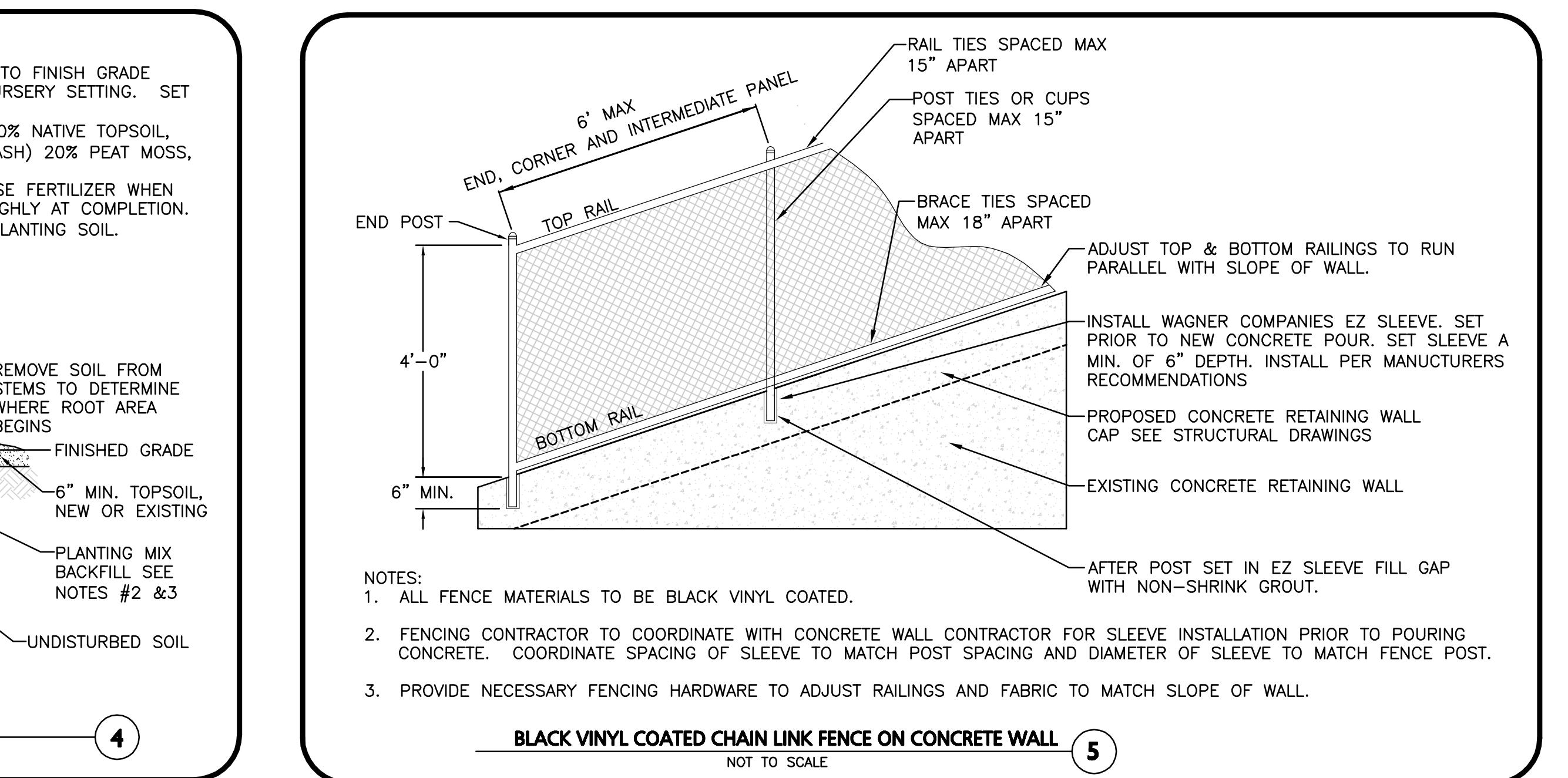
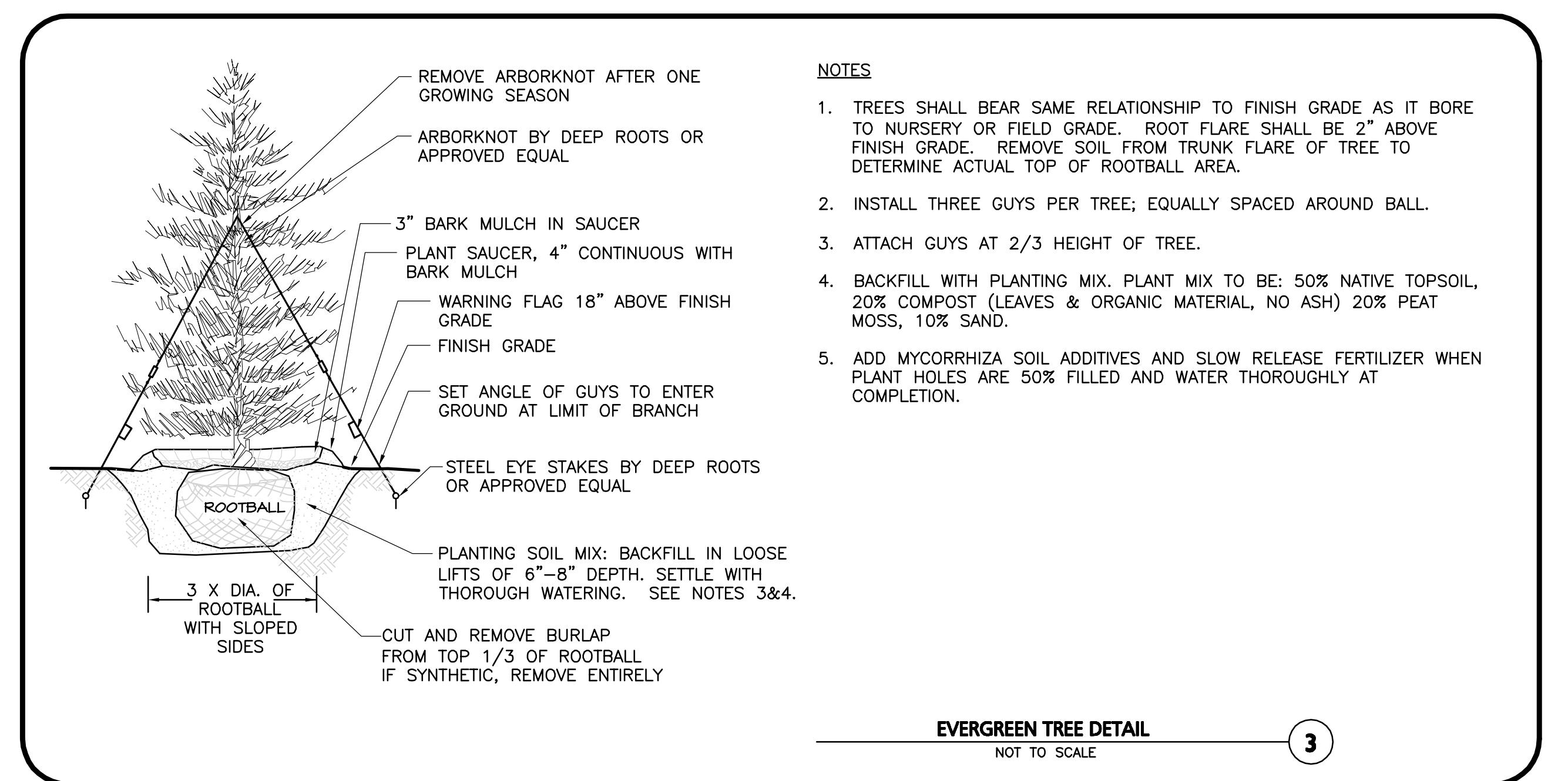
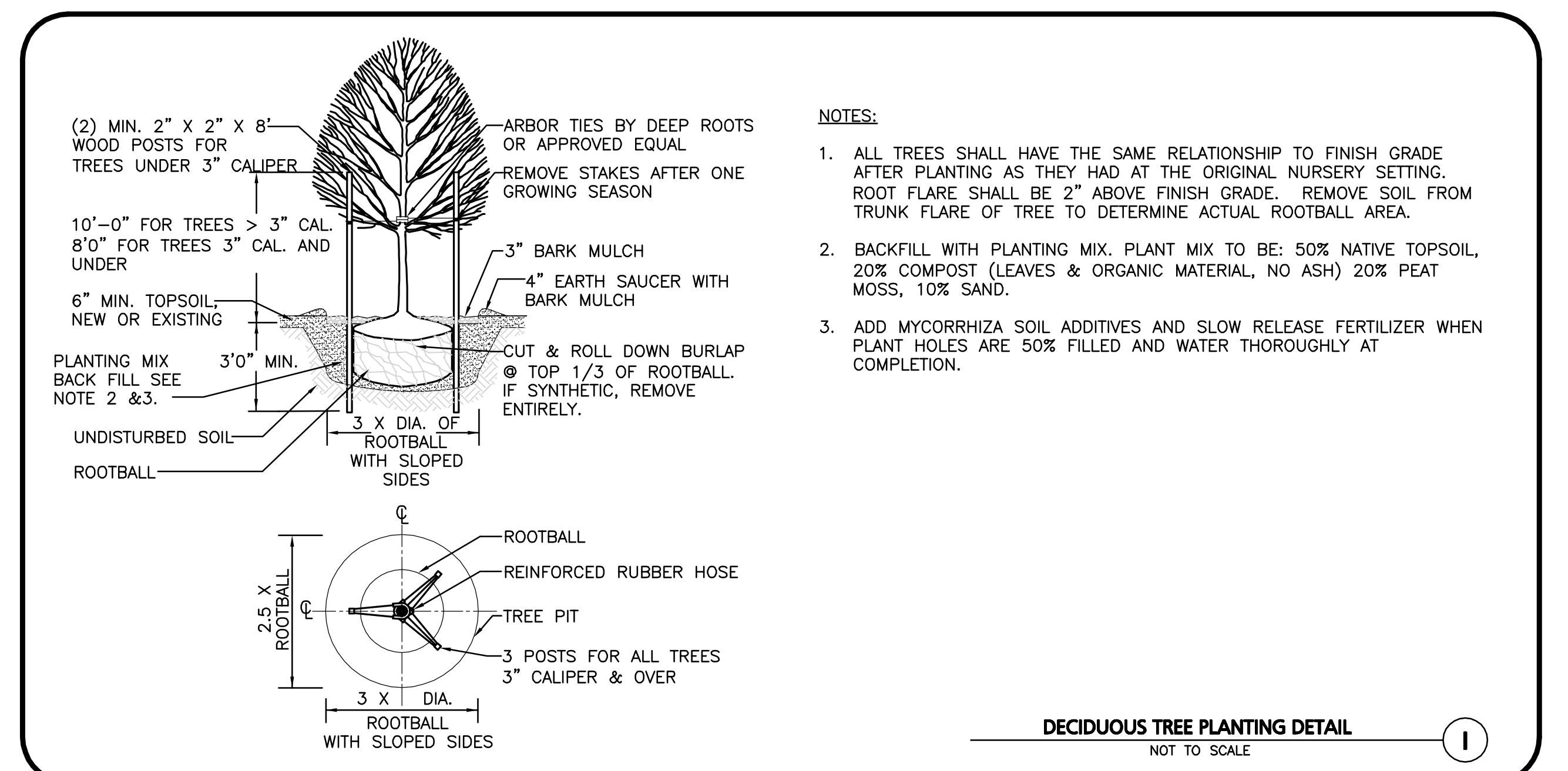
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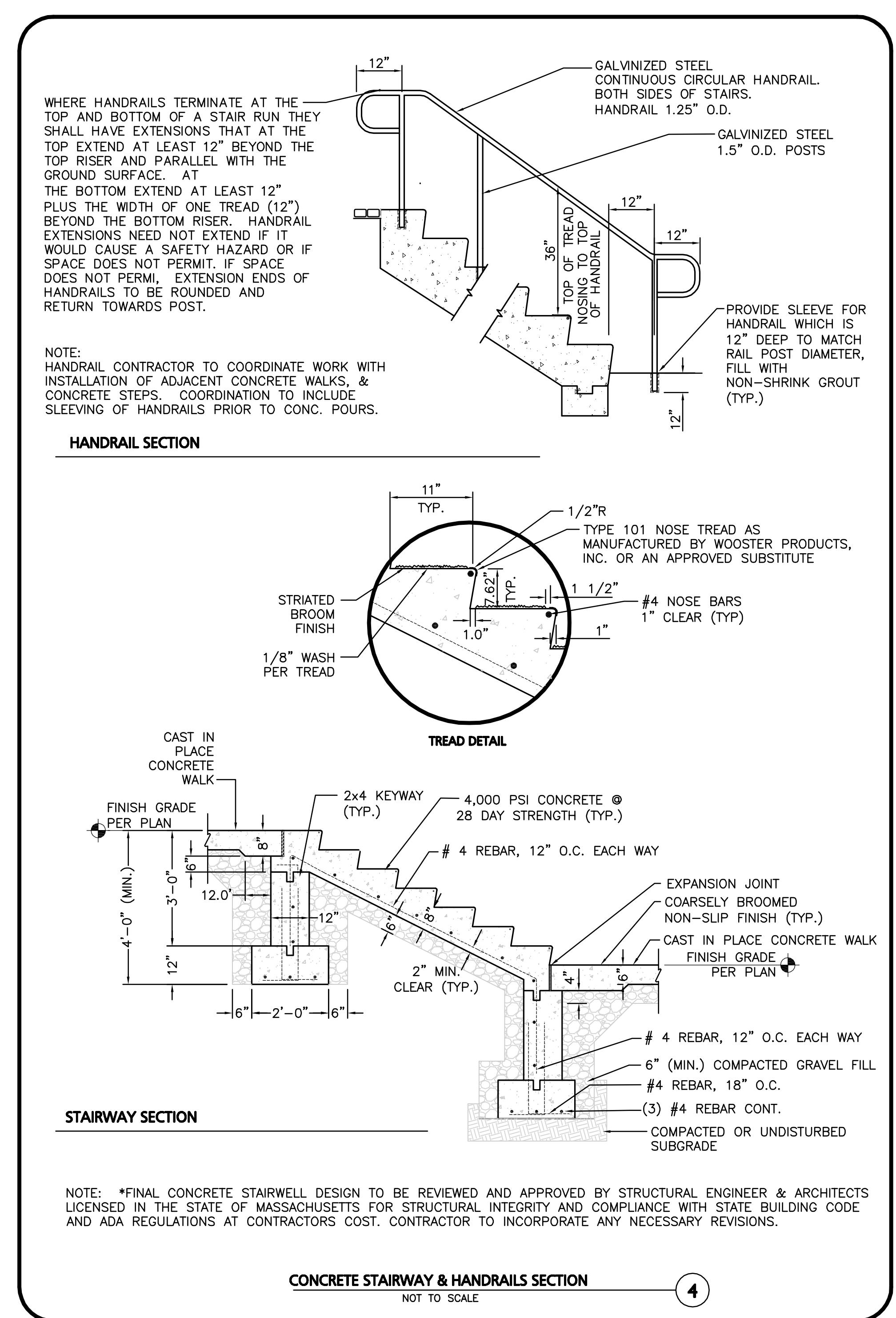
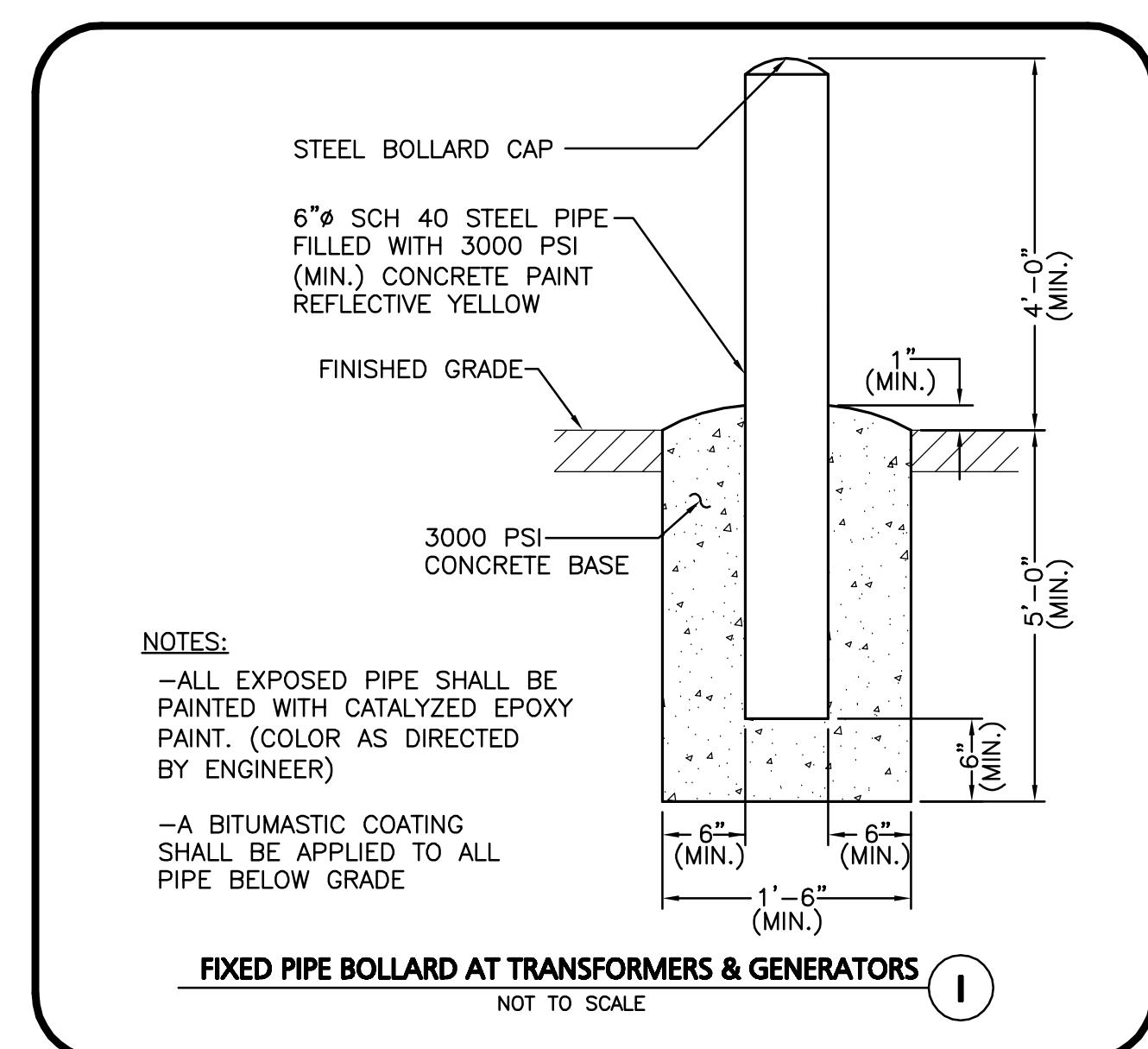
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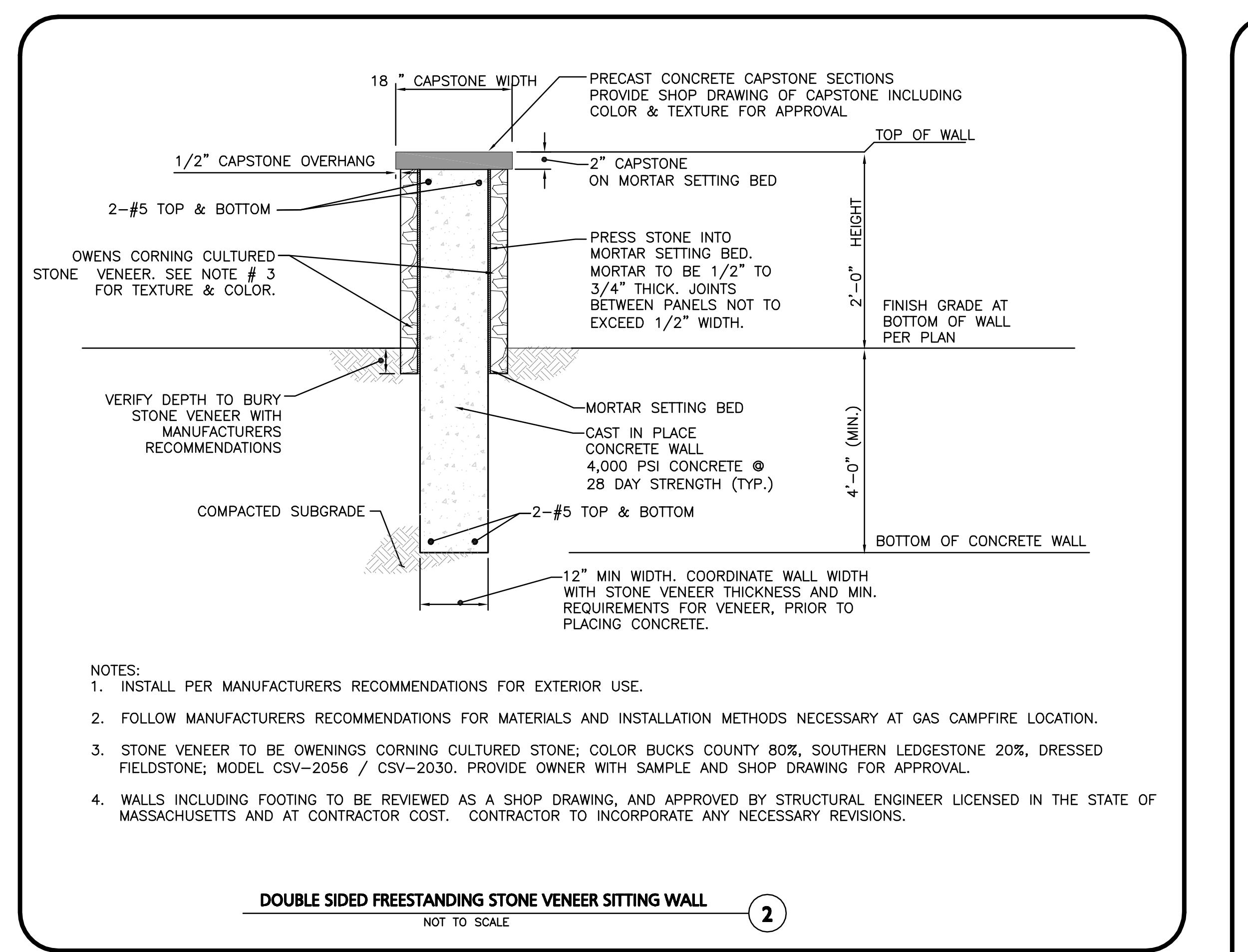
11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



NOTE: *FINAL CONCRETE STAIRWELL DESIGN TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER & ARCHITECTS LICENSED IN THE STATE OF MASSACHUSETTS FOR STRUCTURAL INTEGRITY AND COMPLIANCE WITH STATE BUILDING CODE AND ADA REGULATIONS AT CONTRACTORS COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.

CONCRETE STAIRWAY & HANDRAILS SECTION
NOT TO SCALE

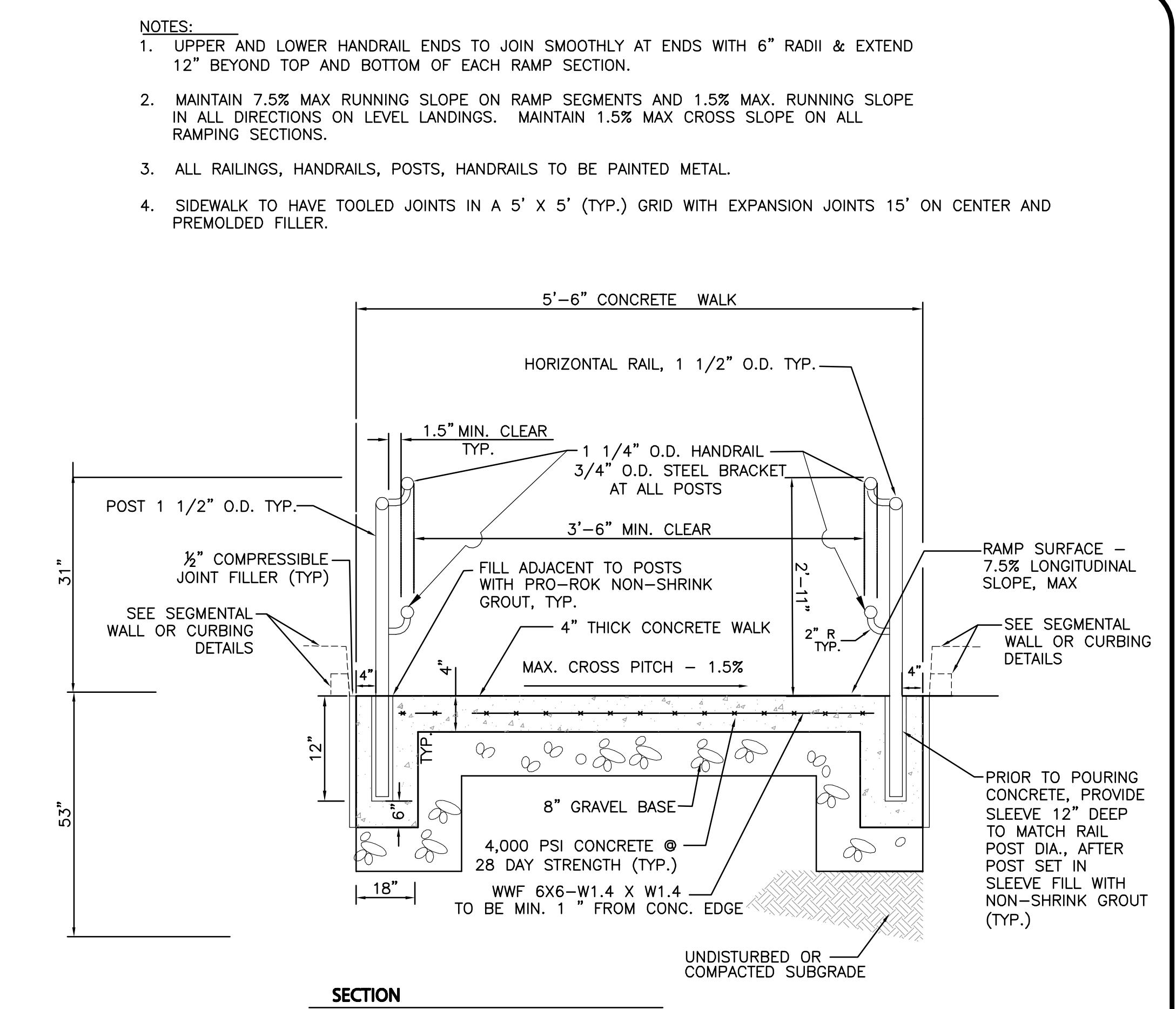
4



NOTES:
1. INSTALL PER MANUFACTURERS RECOMMENDATIONS FOR EXTERIOR USE.
2. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR MATERIALS AND INSTALLATION METHODS NECESSARY AT GAS CAMPFIRE LOCATION.
3. STONE VENEER TO BE OWENNS CORNING CULTURED STONE; COLOR BUCKS COUNTY 80%, SOUTHERN LEDGESTONE 20%, DRESSED FIELDSTONE; MODEL CSV-2056 / CSV-2030. PROVIDE OWNER WITH SAMPLE AND SHOP DRAWING FOR APPROVAL.
4. WALLS INCLUDING FOOTING TO BE REVIEWED AS A SHOP DRAWING, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS AND AT CONTRACTOR COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.

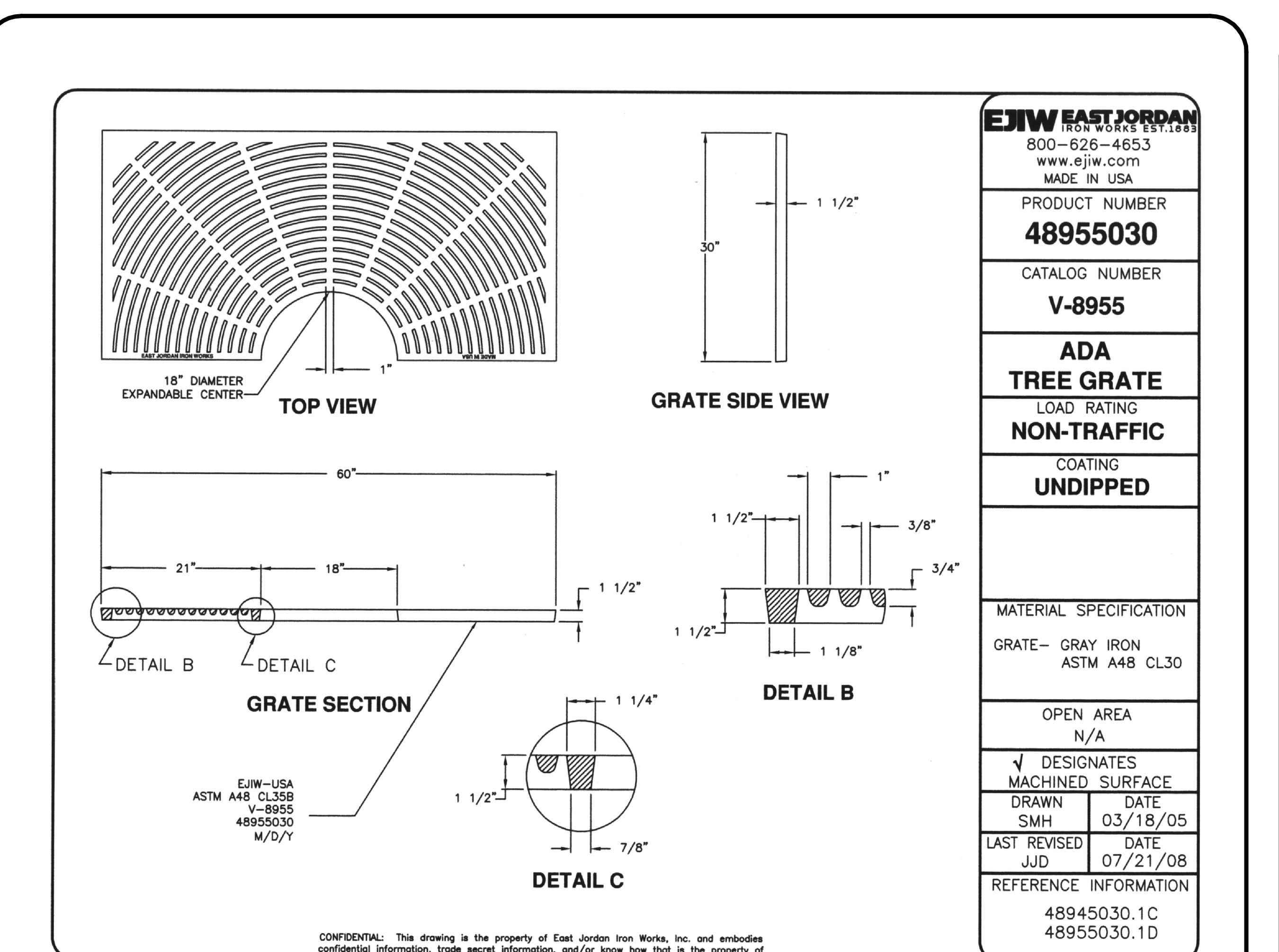
DOUBLE SIDED FREESTANDING STONE VENEER SITTING WALL
NOT TO SCALE

2

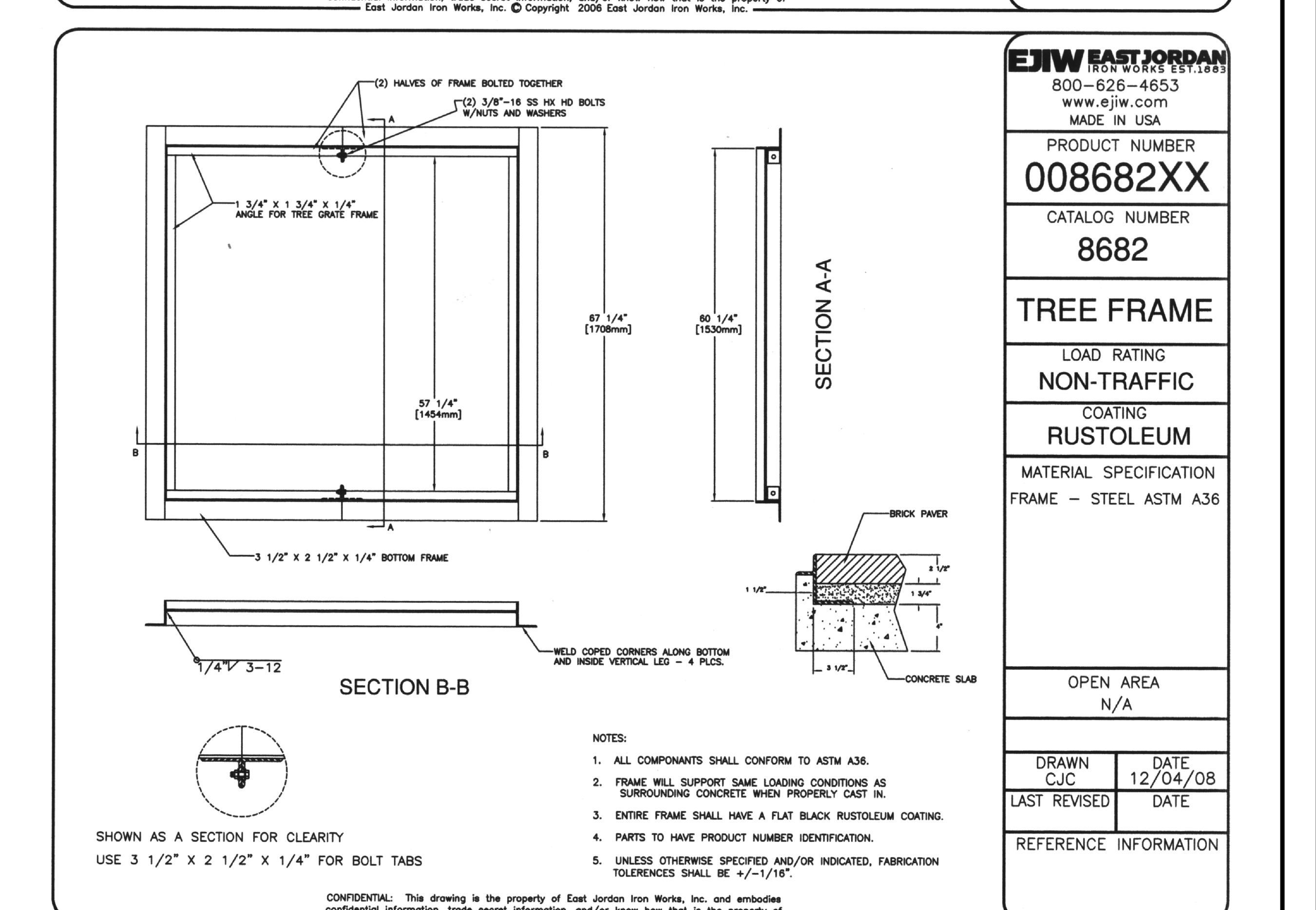


CONCRETE RAMP WITH HANDRAILS
NOT TO SCALE

5



NOTES:
1. ALL COMPONENTS SHALL CONFORM TO ASTM A36.
2. FRAME WILL SUPPORT SAME LOADING CONDITIONS AS SURROUNDING CONCRETE.
3. ENTIRE FRAME SHALL HAVE A FLAT BLACK RUSTOLEUM COATING.
4. PARTS TO HAVE PRODUCT NUMBER IDENTIFICATION.
5. UNLESS OTHERWISE SPECIFIED AND/OR INDICATED, FABRICATION TOLERANCES SHALL BE +/- 1/16".



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2. FRAME WILL SUPPORT SAME LOADING CONDITIONS AS SURROUNDING CONCRETE.
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TREE GRATES
NOT TO SCALE

3

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